

**ITEMS #105**

**ADDITIONAL MATERIAL  
REGULAR MEETING**

**JUNE 15, 2021**

**SUBMITTED AT THE REQUEST OF  
COUNTY ADMINISTRATION**



BERTHA W. HENRY, County Administrator

115 S. Andrews Avenue, Room 409 • Fort Lauderdale, Florida 33301 • 954-357-7362 • FAX 954-357-7360

## MEMORANDUM

**DATE:** June 11, 2021

**TO:** Board of County Commissioners

**FROM:** Alan Cohen, Assistant County Administrator 

**SUBJECT: BOCC June 15, 2021 Regular Meeting Agenda Item No. 105 – GMP 3 Contract Amendment and related items for the Convention Center Expansion and Headquarters Hotel project (Project)**

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The Board of County Commissioners June 15, 2021 Regular Meeting Agenda Item No. 105 contains 3 motions; approval of the GMP 3 Contract Amendment, approval of monies for the hotel construction permit and approval of monies for the insurance package (OCIP) for the hotel construction.

As noted in the agenda item (Motion A), the GMP 3 Contract Amendment was missing several exhibits. Please find attached those exhibits. They include the following:

- A-1 FGMP No. 3 Project Budget
- A-2 Schedule of Values
- A-3 Project Construction Schedule
- A-4 List of Plans and Specifications
- A-5 List of Allowances, Exclusions, and Clarifications
- A-6 Intentionally Omitted
- A-7 Summary of FGMP No. 3 Work
- A-8 Construction Management Plan
- A-9 Staffing Plan and Organization Chart
- B Revised Master Development Schedule
- C-1 Intentionally Omitted as it is no longer applicable

Additionally, please note that the County Attorney's Office (CAO) is reviewing a separate Exhibit C - Insurance Requirements and might be issuing an amended version next week. CAO is also reviewing the County's potential exposure regarding outstanding Project Impact Notices (which are issued pursuant to the Development Agreement with Developer Matthews Holdings Southwest when construction is delayed for a variety of reasons). This might result in an amended Motion A to allow for additional time to work through this issue.

Motion B approves monies for permits for both the East Expansion and Hotel phases of the Project. The intent of Agenda Item No. 105 is to move forward several Headquarters Hotel

related items. We will come back to the Board at a later date regarding the other Project phases. Please find attached a scrivener's error sheet that removes the East Expansion language from the Motion statement and Summary/Background Explanation. Please also note that the sheet includes a change in the Fiscal Impact/Cost Summary section to clarify the funding sources for all three motions.

Lastly please find attached an updated CBE goal memo. It is customary for staff to issue one when a project has been significantly delayed. The goal for the Project has not changed.

Please call me at 954-357-7364 if you have any questions.

cc: Bertha Henry, County Administrator  
Monica Cepero, Deputy County Administrator  
Andrew Meyers, County Attorney  
Robert Melton, County Auditor  
Mike Kerr, Deputy County Attorney  
Jeff Siniawsky, Senior Assistant County Attorney  
Bruce Ferguson, Capital Program Administrator

# Overall Project Development Budget

Final GMP No. 3

May 26, 2021 (revised)



Cost Category	Hotel FGMP 3
Convention Center Construction	\$ -
Central Energy Plant	\$ -
Hotel Construction	\$ 8,940,264
Existing Parking Garage	\$ -
Retail Construction (3 outparcels)	\$ -
Enabling Work, Utility Realignment (GMP 01)	\$ -
Sitework	\$ -
CVB	\$ -
Public Art	\$ -
FGMP 1	\$ -
<b>Subtotal</b>	<b>\$ 8,940,264</b>
Temp Utilities	\$ -
FFE & OSE	N/A
Third Party Services	\$ 355,750
Bldg Permit	\$ 134,104
Impact Fees/FPL Service	\$ -
<b>Subtotal</b>	<b>\$ 489,854</b>
Legal	\$ 40,000
Project Management	\$ 142,052
<b>Subtotal</b>	<b>\$ 182,052</b>
Development Fees	\$ 297,977
<b>Subtotal</b>	<b>\$ 297,977</b>
Developer Contingency (2%)	\$ 192,243
<b>Subtotal of Developer Managed Costs</b>	<b>\$ 10,102,390</b>
County Contingency (2%)	\$ 192,243
<b>FGMP 3 GRAND TOTAL</b>	<b>\$ 10,294,634</b>

# Balfour Beatty

# BCCCH Hotel

Ft. Lauderdale, Florida

## HOTEL GMP#3 (ONLY)

DATE: May 26, 2021

C.S.I. DIVISION	DESCRIPTION OF WORK	"GBA" SOFT
1	<b>GENERAL CONDITIONS</b>	
2	BP1Q General Conditions	
3	<b>GENERAL REQUIREMENTS</b>	
6	BP1P General Requirements - Subguard	
7	BP1P General Requirements - Non Subguard	
8	BP1P1 Miscellaneous Construction	
13	<b>EXISTING CONDITIONS</b>	
15	BP2A Site Development - Wall Elevation Changes from 0'-0" to 4'-0"	
24	BP2I Auger Cast Piling	
159	<b>Subtotal</b>	
160	1.50% SUBGUARD ON COST OF WORK	
161	<b>Subtotal</b>	
162	By Owner BUILDERS RISK INSURANCE	
163	1.0000% PAYMENT & PERFORMANCE BOND	
164	0.3500% INSURANCE NOT COVERED BY OCIP	
165	<b>Subtotal</b>	
166	5.00% CONTINGENCY	
167	<b>Subtotal</b>	
168	4.975% FEE - HOTEL	
169		
170	<b>BUDGET AMOUNT</b>	

HOTEL SITESWORK GMP #3	TOTAL HOTEL GMP #3
\$478,669	\$478,669
\$478,669	\$478,669
<b>\$248,696</b>	<b>\$248,696</b>
\$134,130	\$134,130
\$66,100	\$66,100
\$48,466	\$48,466
<b>\$7,155,100</b>	<b>\$7,155,100</b>
\$777,100	\$777,100
\$6,378,000	\$6,378,000
<b>\$7,882,465</b>	<b>\$7,882,465</b>
\$109,338	\$109,338
<b>\$7,991,803</b>	<b>\$7,991,803</b>
By Owner	By Owner
\$89,403	\$89,403
\$29,808	\$29,808
<b>\$8,111,014</b>	<b>\$8,111,014</b>
\$405,551	\$405,551
<b>\$8,516,565</b>	<b>\$8,516,565</b>
\$423,699	\$423,699
<b>\$8,940,264</b>	<b>\$8,940,264</b>

# Broward County Convention Center - GMP #3 Hotel Deep Foundations

Report Date 05-May-21 15:49

Activity ID	Activity Name	Start	Finish	Duration	2021	2022
					Jan	Feb
<b>GMP No. 3 - Hotel Deep Foundations GMP</b>		<b>04-May-21</b>	<b>09-Dec-21</b>	<b>215</b>		
HDI-3010	GMP #3 - County Review	04-May-21*	17-May-21	14		
HDI-3015	Board Agenda Posted	2-Jun-21	14-Jun-21	1		
HDI-3020	Board Approve GMP #3	15-Jun-21	15-Jun-21	1		
HDI-3110	County Issue NTP	16-Jun-21	22-Jun-21	7		
HDI-3100	Issue Contracts to Subcontractors	16-Jun-21	1-Jul-21	15		
HDI-3120	Release Test Pile Materials	24-Jun-21	24-Jun-21	1		
HDI-3030	Mass Grading / Earthwork	2-Jul-21	31-Aug-21	60		
HDI-3045	Mobilize Pile Crane	4-Jul-21	9-Jul-21	5		
HDI-3055	Layout Test Piles	10-Jul-21	12-Jul-21	2		
HDI-3060	Install Test Piles	13-Jul-21	18-Jul-21	5		
HDI-3065	Cure Test Piles	19-Jul-21	3-Aug-21	15		
HDI-3070	Test Piles	4-Aug-21	19-Aug-21	15		
HDI-3075	Install Production Auger Cast Piles	20-Aug-21	20-Dec-21	122		
HDI-3130	Demobilize Auger Cast Piles	21-Dec-21	26-Dec-21	5		



**Balfour Beatty**

Revised  
04/02/2021 12:38:02 PM

Remaining Level of Effort  
 Critical Remaining Work  
 Actual Level of Effort  
 Actual Work  
 Milestone

FGMP 3 DOCUMENT LOG		
Drawing No.	Drawing Title	BCCCH - Hotel 90%CD County Distribution Set (11/27/20)
S.001D	GENERAL NOTES	11/27/2020
S.002D	GENERAL NOTES	11/27/2020
S.011D	FOUNDATION OVERALL PLAN	11/27/2020
S.011DA	FOUNDATION PLAN - AREA A	11/27/2020
S.011DB	FOUNDATION PLAN - AREA B	11/27/2020
S.011DC	FOUNDATION PLAN - AREA C	11/27/2020
S.011DD	FOUNDATION PLAN - AREA D	11/27/2020
S.011DE	FOUNDATION PLAN - AREA E	11/27/2020
S.011DF	FOUNDATION PLAN - AREA F	11/27/2020
S.011DG	FOUNDATION PLAN - AREA G	11/27/2020
S.011DH	FOUNDATION PLAN - AREA H	11/27/2020
S.012D	FOUNDATION SECTIONS AND DETAILS	11/27/2020
S.013D	FOUNDATION SECTIONS AND DETAILS	11/27/2020
S.014D	FOUNDATION SECTIONS AND DETAILS	11/27/2020
S.015D	FOUNDATION SECTIONS AND DETAILS	11/27/2020
S.016D	FOUNDATION SECTIONS AND DETAILS	11/27/2020
S.017D	FOUNDATION SECTIONS AND DETAILS	11/27/2020
S.018D	FOUNDATION SECTIONS AND DETAILS	11/27/2020
S.101D	LEVEL 1 OVERALL PLAN	11/27/2020
S.101DA	LEVEL 1 FRAMING PLAN - AREA A	11/27/2020
S.101DAR	LEVEL 1 REINFORCING PLAN - AREA A	11/27/2020
S.101DB	LEVEL 1 FRAMING PLAN - AREA B	11/27/2020
S.101DBR	LEVEL 1 REINFORCING PLAN - AREA B	11/27/2020
S.101DC	LEVEL 1 FRAMING PLAN - AREA C	11/27/2020
S.101DCR	LEVEL 1 REINFORCING PLAN - AREA C	11/27/2020
S.101DD	LEVEL 1 FRAMING PLAN - AREA D	11/27/2020
S.101DDR	LEVEL 1 REINFORCING PLAN - AREA D	11/27/2020
S.101DE	LEVEL 1 FRAMING PLAN - AREA E	11/27/2020
S.101DER	LEVEL 1 REINFORCING PLAN - AREA E	11/27/2020
S.101DF	LEVEL 1 FRAMING PLAN - AREA F	11/27/2020
S.101DFR	LEVEL 1 REINFORCING PLAN - AREA F	11/27/2020
S.101DG	LEVEL 1 FRAMING PLAN - AREA G	11/27/2020
S.101DGR	LEVEL 1 REINFORCING PLAN - AREA G	11/27/2020
S.101DH	LEVEL 1 FRAMING PLAN - AREA H	11/27/2020
S.101DHR	LEVEL 1 REINFORCING PLAN - AREA H	11/27/2020
S.200D	COLUMN DETAILS	11/27/2020
S.203D	COLUMN SCHEDULE	11/27/2020
S.204D	COLUMN SCHEDULE	11/27/2020
S.206D	TOWER COLUMN SCHEDULE	11/27/2020
S.207D	TOWER COLUMN SCHEDULE	11/27/2020
S.220D	SHEAR WALL DETAILS	11/27/2020
S.230D	ENLARGED SHEAR WALL PLANS	11/27/2020
S.231D	ENLARGED SHEAR WALL PLANS	11/27/2020
S.400D	CONCRETE SECTIONS AND DETAILS	11/27/2020
S.401D	CONCRETE SECTIONS AND DETAILS	11/27/2020
S.402D	CONCRETE SECTIONS AND DETAILS	11/27/2020
S.403D	CONCRETE SECTIONS AND DETAILS	11/27/2020
S.430D	TYPICAL MASONRY DETAILS	11/27/2020
S.431D	TYPICAL MASONRY DETAILS	11/27/2020
S.432D	TYPICAL MASONRY DETAILS	11/27/2020

Drawing No.	Drawing Title	BCCCH - Remainder of Site (Submitted with Hotel 90CD) 2020.11.24
C.000	COVER SHEET	11/24/2020
C.200	GENERAL NOTES & SPECIFICATIONS	11/24/2020
C.201	GENERAL NOTES & SPECIFICATIONS	11/24/2020
C.400	PAVING, GRADING AND DRAINAGE KEY MAP	11/24/2020
C.401	PAVING, GRADING AND DRAINAGE PLAN	11/24/2020
C.402	PAVING, GRADING AND DRAINAGE PLAN	11/24/2020
C.413	CROSS SECTIONS	11/24/2020
C.414	CROSS SECTIONS	11/24/2020
C.415	CROSS SECTIONS	11/24/2020
C.500	WATER & SEWER KEY MAP	11/24/2020
C.501	WATER & SEWER PLAN	11/24/2020
C.502	WATER & SEWER PLAN	11/24/2020
C.513	SANITARY SEWER PROFILE	11/24/2020
C.600	EROSION CONTROL KEY MAP	11/24/2020
C.601	EROSION CONTROL PLAN	11/24/2020
C.602	EROSION CONTROL PLAN	11/24/2020
C.613	TEMPORARY POLLUTION PREVENTION DETAILS	11/24/2020
C.614	TEMPORARY POLLUTION PREVENTION DETAILS	11/24/2020
C.700	PAVEMENT MARKING & SIGNAGE KEY MAP	11/24/2020
C.701	PAVEMENT MARKING & SIGNAGE PLAN	11/24/2020
C.702	PAVEMENT MARKING & SIGNAGE PLAN	11/24/2020
C.800	STANDARD DETAILS	11/24/2020
C.801	STANDARD DETAILS	11/24/2020
C.802	STANDARD DETAILS	11/24/2020
C.803	STANDARD DETAILS	11/24/2020
C.804	STANDARD DETAILS	11/24/2020
C.805	STANDARD DETAILS	11/24/2020
C.806	STANDARD DETAILS	11/24/2020
C.807	STANDARD DETAILS	11/24/2020
C.808	STANDARD DETAILS	11/24/2020
C.809	STANDARD DETAILS	11/24/2020
C.810	STANDARD DETAILS	11/24/2020
C.811	STANDARD DETAILS	11/24/2020
C.900	LOW VOLTAGE KEY MAP	11/24/2020
C.901	LOW VOLTAGE PLAN	11/24/2020
C.902	LOW VOLTAGE PLAN	11/24/2020
Drawing No.	Drawing Title	BCCCH - Remainder of Site (Submitted with Hotel 90CD) 2020.11.24
NA	NV5 Geotechnical Report	7/13/2020



**ALLOWANCES**

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05/07/2021

**NO ALLOWANCES INCLUDED**

## EXCLUSIONS

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5/7/21

**DELIVERABLE TYPE: Guaranteed Maximum Price – GMP3 Pricing is Good Until  
06/22/21 (NTP by June 22, 2021)**

### DIVISION 1 – GENERAL REQUIREMENTS

#### General

1. For the purposes of this FGMP package all assumptions, qualifications and exclusions have been assumed as presented in this document.
2. No costs for mitigation/abatement of hazardous materials are included in this FGMP. Any hazardous materials encountered will be considered an Unforeseen Condition and will be handled accordingly.
3. All material testing and inspection services are assumed to be by Developer and/or County. This shall further include, but is not limited to the following:
  - a. Concrete and CMU cylinder testing.
  - b. Soils and soils density testing.
  - c. Asphalt paving materials testing.
  - d. Threshold inspection / compliance and reporting.
  - e. Pile monitoring and pile installation logs.
4. No vibration monitoring of adjacent structures is included in this FGMP.
5. Balfour Beatty has assumed that all costs associated with all Permit Fees, mitigation bonds, and any Impact or Utility Connection Fees (other than Subcontractor Permit Fees) are by Developer and/or Owner. Developer and/or Owner will be responsible for the Master Building Permit.
6. Existing easements and vacation of existing easements is assumed to have occurred prior to Balfour Beatty receiving the Notice to Proceed for each phase of the work. If any existing easements are not vacated and impact the project schedule, it will be handled as a delay to the project and associated schedule and cost impacts will be determined in accordance with the Contract Agreement.
7. Easement costs including those associated with surveying, as-built locating, and physical descriptive location, legal, etc. that may be required for conveyance of new easements associated with this project are not included in this FGMP.
8. Costs or fees related to the registration and submission to the USGBC are not included in this FGMP.
9. Power, domestic water, gas, irrigation water, and sanitary consumption costs during the construction duration are to be paid direct by County (with no Balfour Beatty markups).
10. Balfour Beatty has engaged with the City and County regarding MOT requirements, and as a result of those conversations this FGMP does not include costs associated with utilizing local Police that may be required to maintain traffic during this Project. Balfour Beatty will provide flagmen for any MOT as required for work that occurs along 17th

## **EXCLUSIONS**

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Street and Eisenhower and at entrances to the site but has not included any costs associated with providing Police monitoring of same.

11. Balfour Beatty will coordinate with and work with Florida Power and Light (FPL) but is not responsible for any delays caused by FPL. Balfour Beatty will document communication with FPL and advise Developer for any time and additional compensation related to obtaining approval from FPL for the Work.
12. Design Builder has included a fixed rate of .35% for insurance not covered by the Owner Controlled Insurance Program (“OCIP”). This value is included in the price.
13. Should an Owner Controlled Insurance Program (“OCIP”) not be provided Design Builder’s insurance shall be set at a fixed rate of 1.35%. This will increase cost of FGMP 3 as this cost is not currently included in the price.
14. Design Builder is not providing Builders Risk insurance.
15. Design Builder is not providing Workers Compensation insurance.

### **DIVISION 2**

#### **Selective Demolition**

1. Removal of existing piles located at the former Portside Center is not included. If conflicts are discovered between new piles and survey of existing piles, this unforeseen condition will require redesign of the new foundation design and/or locations. The costs associated with the design and construction costs are not included in this FGMP, as well as the unknown schedule impact that would occur.

### **DIVISION 3 – CONCRETE**

#### **Cast-In-Place Concrete**

1. No repair or replacement to the existing concrete is included.

## CLARIFICATIONS

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5/7/21

**DELIVERABLE TYPE: Guaranteed Maximum Price**

### DIVISION 1 – GENERAL REQUIREMENTS

#### General

1. This FGMP is based on and subject to the current design package referenced in the attached drawing log. As such, the estimates individually (and the FGMP in total) are subject to revision and value analysis by the Design Builder in order to maintain the Cost Limitations for the FGMP.
2. Balfour Beatty has assumed that all required Building Permits will be in place to begin work in accordance with our Project Schedule. The proposed schedule is based on the proposed start date and ability to perform the work as shown on the proposed schedule.
3. Balfour Beatty's construction schedule assumes that extended hours, weekends and holidays will be required for various activities associated with construction of this project. This may require Developer and County to assist with procurement of a variance for all work hours required by the construction schedule.
4. Balfour Beatty had conversations with Port Everglades to determine the requirements to access the project site through Port Everglades. It is assumed in this FGMP that the only requirement for access to Port Everglades will be with a personal identification card or driver's license as a result of those conversations. No other badging for access to the Port is included.
5. Balfour Beatty is relying on Owner furnished as-builts for the purposes of establishing the scopes of work and pricing associated with this FGMP. Conditions that are either misrepresented, not shown, or different than what is shown on the as-built documents will be considered an unforeseen condition and handled in accordance with the Contract Documents.
6. Existing easements and vacation of existing easements is assumed to have occurred prior to Balfour Beatty receiving the Notice to Proceed for each phase of the work. If any existing easements are not vacated and impact the project schedule, it will be handled as a delay to the project and associated schedule and cost impacts will be determined in accordance with the Contract Agreement.
7. Balfour Beatty has assumed thirty (30) days for approval from all permitting authorities. Balfour Beatty has assumed that the City of Fort Lauderdale is the permitting and inspection authority for the Project. Balfour Beatty also assumes that requests for inspection will occur within 24 hours of the inspection request being made.
8. Coordination between Broward County and the City of Fort Lauderdale will be necessary to meet construction goals and achieve authority sign off. In the event of conflicting directives between the two jurisdictions that affect the project costs or project timeline,

## CLARIFICATIONS

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- Balfour Beatty may receive a time extension and associated general conditions until the conflict is resolved.
9. Deleted.
  10. Deleted.
  11. Existing tariffs have been accounted for in this FGMP. Any new / future potential tariffs that might be imposed after the date of this FGMP will be addressed between Developer and County to select alternate materials that are not affected by tariffs (and are within the previously specified products price range). Should alternate material selections not be acceptable to Developer and County, a corresponding increase to the FGMP will be required.
  12. Balfour Beatty has assumed that the coordination of temporary office space for County, Building Department, Developer and Design Builder has been carried in GMP 2. No additional space will be required.
  13. Balfour Beatty has assumed that costs associated with air rights needed for crane placement / use as it relates to 17th Street and Eisenhower Blvd. are the responsibility of the Developer and/or Owner. The permitting applications to install the cranes are included, but this FGMP does not include any costs required to procure air rights required for the work within this FGMP.
  14. Prevailing wage rate determinations are based on the published rates for Broward County as shown in Exhibit 14 of the executed DBIA Agreement.
  15. Balfour Beatty is relying on the accuracy of the as-built documents to identify existing utilities and other subsurface features. Any subsurface feature discovered during these ongoing investigation efforts and subsequent construction activities will be considered an unforeseen condition and handled in accordance with the Contract Agreement requirements.
  16. Direct Owner Purchase as required in the DBIA Agreement is not included or assumed for any of the trade pricing at this time.
  17. This FGMP is based on the Hotel 90% CD foundation set, dated November 25, 2020. Please reference the attached drawing log for clarification of which drawings were used for bidding purposes.
  18. Design Builder incorporates fully and without limitation all rights and responsibilities, including but not limited to those regarding scope of work, cost of work and entitlement to payment or reimbursement memorialized in FGMP 3 and included into a future FGMP.
  19. Note used
  20. No liquidated damages will apply to the work of FGMP 3.
  21. This design is based on NV5's final geotechnical study dated July 13, 2020.
  22. Design Builder has included a 1.5% fixed rate for subguard.
  23. Design Builder is not providing Worker's Compensation Insurance. All Subcontractor pricing excludes all insurance (exclusion includes no insurance not covered by OCIP) with the types and minimum limits for this type of project. All OCIP insurance policies are subject to the prior review and approval of Developer and Design Builder. Developer

## **CLARIFICATIONS**

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and Design Builder shall be named insureds on all OCIP policies. Subcontractors shall be enrolled in the OCIP unless otherwise excluded. Once the OCIP is provided Design Builder will request pricing from the subcontractors for insurance not covered by OCIP. This FGMP 3 assumes a similar policy to that of FGMP 2.

24. DBIA States:

6.3.1.2 Reasonable and customary wages or salaries of Design-Builder's supervisory and administrative personnel who are identified on Exhibit 6 but only when stationed full-time at the site, or if stationed part time at the site or off site, to the extent their time is directly attributable to the furtherance of the Work. Design-Builder acknowledges and agrees that the Salary Costs (as defined in the MDA) for Design-Builder's employees that are charged to the Projects are subject to the limitations set forth in Section 7.5 of the MDA (which provision is incorporated by reference in the Special Conditions) and the audit rights in favor of the County as set forth in the MDA.

MDA States:

Salary Costs. Developer shall be paid for Salary Costs on the basis of agreed-upon rates reviewed and Approved by County and attached hereto as Exhibit F. Developer's rates for Salary Costs shall conform to the requirements of this Section 7.5. County shall be entitled to audit such rates to ensure conformance to the requirements of this Section.

Rates for salary costs to Design Builder as published in FGMP 3, are hereby agreed up and approved by County and subject to County audit pursuant to section 6.3.1.2 of the DBIA and section 7.5 of the MDA.

Upon acceptance of FGMP 3 by County, the following salary rates for Design Builder's Staff are approved and subject to audit by County pursuant to section 6.3.1.2 of the DBIA and section 7.5 of the MDA.

**CLARIFICATIONS**

Upon acceptance of FGMP 3 by County, the following maximum Design Build Staff salary rates are approved for the project duration and subject to audit by County pursuant to Section 6.3.1.2 of the DBIA and Section 7.5 of the MDA.

Maximum rates for project duration

Position	Salary per Hour	Benefits per Hour (59%)	Total Salary per Hour Plus Benefits per Hour
Senior Vice President - Operations	\$ 139.42	\$ 82.26	\$ 221.67
Senior Vice President - Estimating	\$ 153.27	\$ 90.43	\$ 243.70
Vice President -Operations	\$ 133.86	\$ 78.98	\$ 212.83
Operations Director	\$ 132.09	\$ 77.93	\$ 210.02
Chief Estimator	\$ 105.90	\$ 62.48	\$ 168.37
Senior Estimator	\$ 83.60	\$ 49.32	\$ 132.93
Estimator	\$ 77.40	\$ 45.67	\$ 123.07
Comptroller	\$ 74.41	\$ 43.90	\$ 118.31
CBE Administrator	\$ 40.69	\$ 24.00	\$ 64.69
Administrative Assistant	\$ 37.73	\$ 22.26	\$ 60.00
Project Executive	\$ 121.35	\$ 71.60	\$ 192.95
Sr. Project Manager	\$ 97.54	\$ 57.55	\$ 155.08
Project Manager	\$ 82.83	\$ 48.87	\$ 131.70
Assistant Project Manager	\$ 50.72	\$ 29.92	\$ 80.64
Sr. Project Engineer	\$ 39.85	\$ 23.51	\$ 63.36
Project Engineer	\$ 39.01	\$ 23.02	\$ 62.03
Intern	\$ 25.50	\$ 15.05	\$ 40.55
General Superintendent	\$ 134.21	\$ 79.18	\$ 213.39
Sr. Superintendent	\$ 97.54	\$ 57.55	\$ 155.08
Superintendent	\$ 88.98	\$ 52.50	\$ 141.48
Asst. Superintendent	\$ 52.95	\$ 31.24	\$ 84.19
Sr. Project Engineer Field	\$ 39.85	\$ 23.51	\$ 63.36
Project Engineer Field	\$ 42.92	\$ 25.32	\$ 68.24
BIM Project Manager	\$ 72.45	\$ 42.75	\$ 115.20
BIM Coordinator	\$ 50.16	\$ 29.59	\$ 79.76
Sr. Project Accountant	\$ 45.99	\$ 27.13	\$ 73.12
Project Accountant	\$ 45.99	\$ 27.13	\$ 73.12
Sr. Loss Prevention Manager	\$ 69.67	\$ 41.10	\$ 110.77
Safety Manager	\$ 72.18	\$ 42.58	\$ 114.76
Scheduling Manager	\$ 94.75	\$ 55.90	\$ 150.65
Scheduler	\$ 79.14	\$ 46.69	\$ 125.84

## **CLARIFICATIONS**

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### **DIVISION 32 – EXTERIOR IMPROVEMENTS**

#### **Earthwork**

1. All onsite soil is assumed to be acceptable for reuse as backfill, including for building pads. If removal and import of replacement material is required based on material testing results reported by Developer, it will be considered an unforeseen condition and handled in accordance with the Contract Agreement requirements.
2. This FGMP assumes that all easements and rights-of-way are free of organic or deleterious material and that the excavated material will be suitable for backfill of the excavations or onsite for balancing of same.



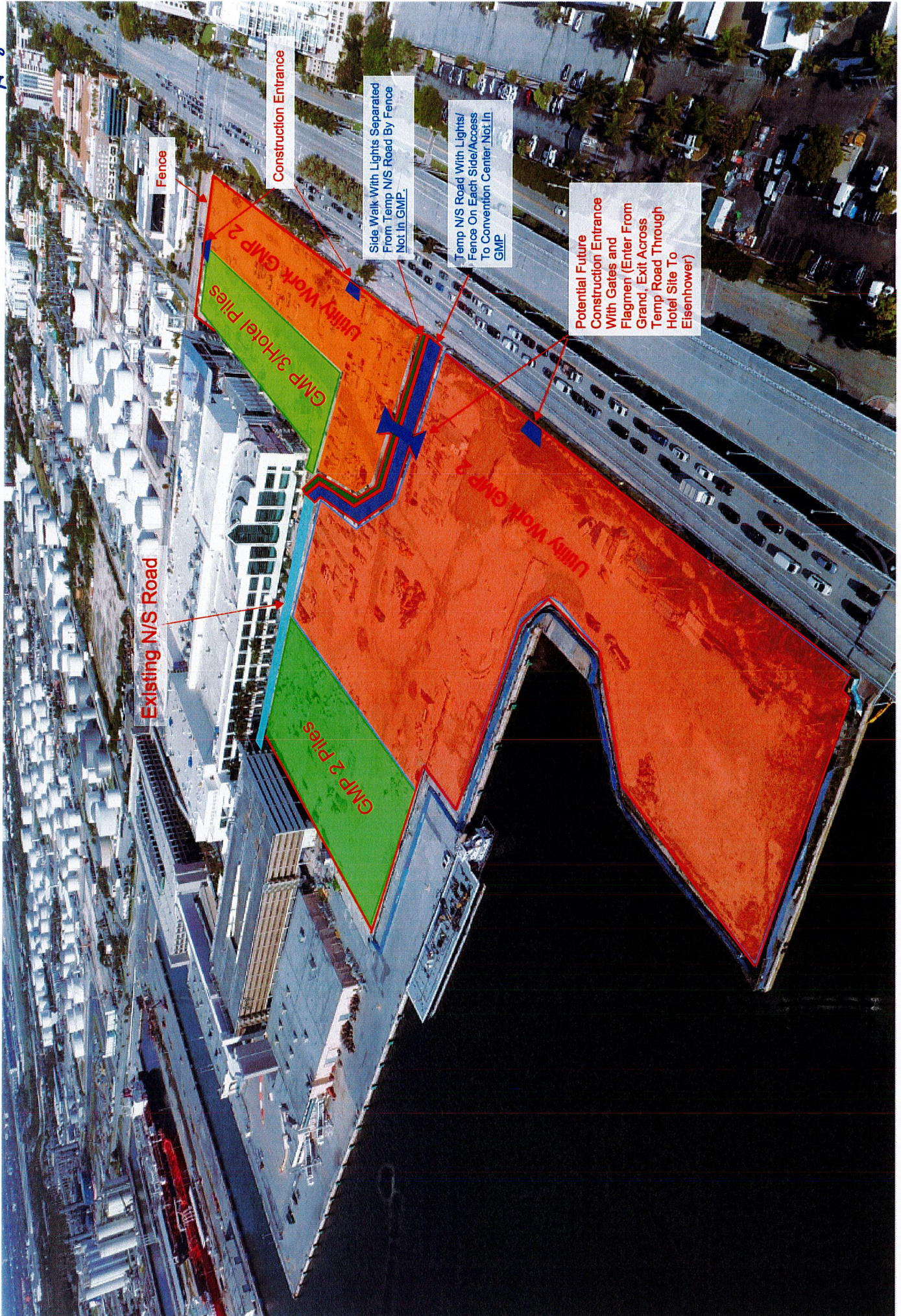
## **FGMP 3 – Scope Narrative**

The following items are included as a part of the scope for FGMP-3.

All mass grading as required to bring the site to an elevation to install the augercast piles. This includes all layout, earthmoving, and compaction to an elevation of 9.75 (suitable for pile installation). This elevation relates to the majority of the Hotel footprint. Grade will be established to an elevation of 5.75 for piles that are at a lower elevation along the North end of the Existing and West Expansion.

All pile work associated for a complete pile installation including all layout, reinforcing and test piles. This pile scope includes all typical, battered and tension piles as required by the structural drawings. It includes all sizes of piles as indicated on the structural drawings.

A-8



Existing N/S Road

Fence

Construction Entrance

Side Walk With Lights Separated From Temp N/S Road By Fence Not In GMP.

Temp N/S Road With Lights/Fence On Each Side/Access To Convention Center Not In GMP

Potential Future Construction Entrance With Gates and Flagmen (Enter From Grand, Exit Across Temp Road Through Hotel Site To Eisenhower)

GMP 3/Hotel Piles

GMP 2 Piles

Unity Walk GMP 2

# Site Utilization Plan GMP 3

Revised  
06/2021 10:15 AM

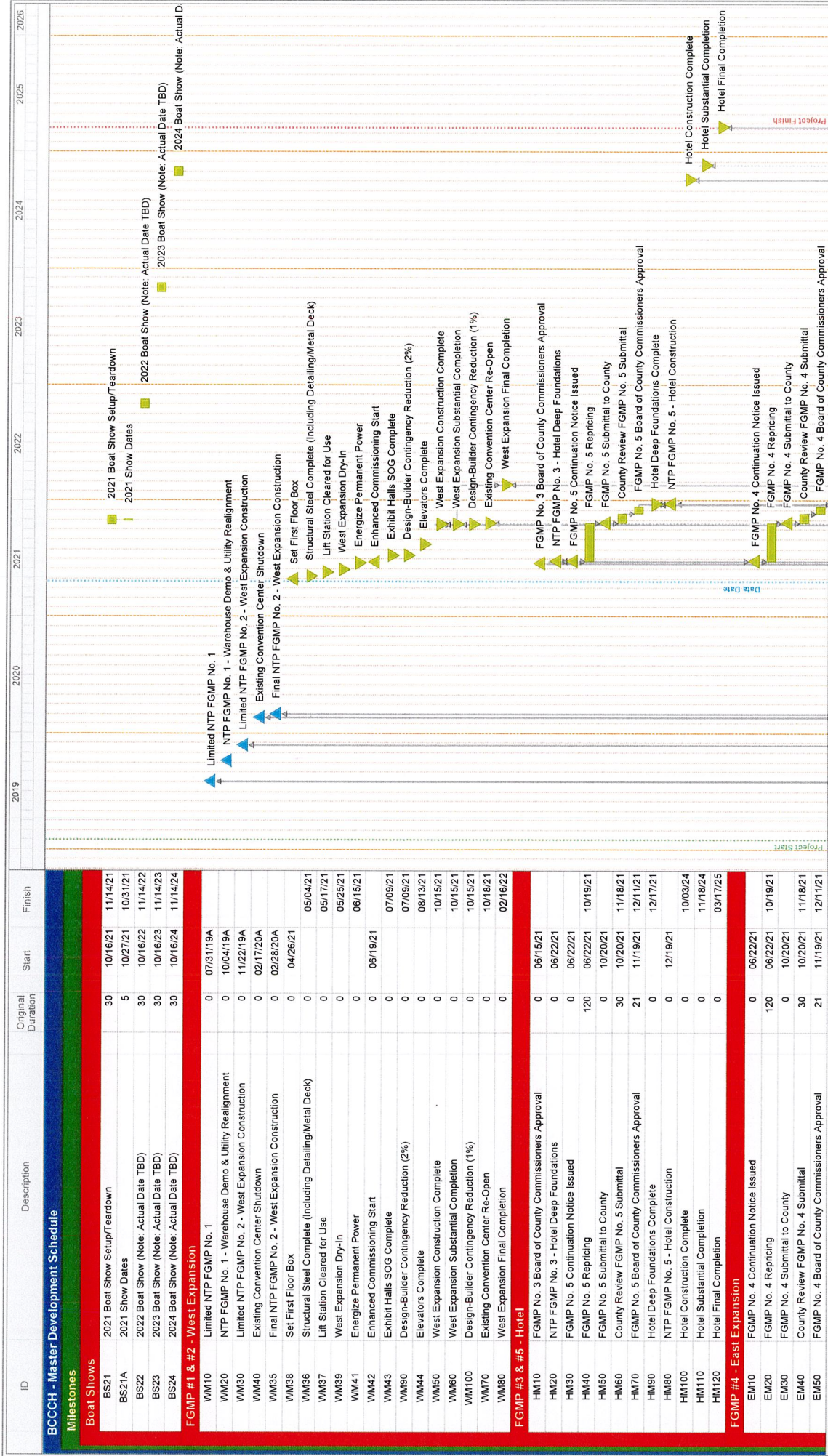
## Balfour Beatty



FTE Matrix - Staffing Plan

POSITION	NAME	TOTAL WEEKS	2019												2020												2021											
			1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	27	28	29	30	31	32				
			JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB	MAR	APR	MAY	JUN	JUL	AUG	SEP	OCT	NOV	DEC	JAN	FEB				
PERSONNEL FTE	SENIOR PROJECT MANAGER - Josh Willis	22.8																																				
	GENERAL SUPERINTENDENT - TBD	34.6																							4.3	4.3	4.3	4.3	4.3	4.3	4.3	4.3	4.3					
	PROJECT ENGINEER - TBD	34.6																							-4.3	-4.3	-4.3	-4.3	-4.3	-4.3	-4.3	-4.3	-4.3					
<b>TOTAL PERSONNEL FTE</b>		58.1	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	0.0	8.7	10.8	13.0	13.0	13.0	13.0	13.0	13.0	0.0						

B



ID	Description	Original Duration	Start	Finish
<b>BCCCH - Master Development Schedule</b>				
<b>Milestones</b>				
<b>Boat Shows</b>				
BS21	2021 Boat Show Setup/Teardown	30	10/16/21	11/14/21
BS21A	2021 Show Dates	5	10/27/21	10/31/21
BS22	2022 Boat Show (Note: Actual Date TBD)	30	10/16/22	11/14/22
BS23	2023 Boat Show (Note: Actual Date TBD)	30	10/16/23	11/14/23
BS24	2024 Boat Show (Note: Actual Date TBD)	30	10/16/24	11/14/24
<b>FGMP #1 &amp; #2 - West Expansion</b>				
WM10	Limited NTP FGMP No. 1	0	07/31/19A	
WM20	NTP FGMP No. 1 - Warehouse Demo & Utility Realignment	0	10/04/19A	
WM30	Limited NTP FGMP No. 2 - West Expansion Construction	0	11/22/19A	
WM40	Existing Convention Center Shutdown	0	02/17/20A	
WM35	Final NTP FGMP No. 2 - West Expansion Construction	0	02/28/20A	
WM38	Set First Floor Box	0	04/26/21	
WM36	Structural Steel Complete (Including Detailing/Metal Deck)	0	05/04/21	
WM37	Lift Station Cleared for Use	0	05/17/21	
WM39	West Expansion Dry-In	0	05/25/21	
WM41	Energize Permanent Power	0	06/15/21	
WM42	Enhanced Commissioning Start	0	06/19/21	
WM43	Exhibit Halls SOG Complete	0	07/09/21	
WM90	Design-Builder Contingency Reduction (2%)	0	07/09/21	
WM44	Elevators Complete	0	08/13/21	
WM50	West Expansion Construction Complete	0	10/15/21	
WM60	West Expansion Substantial Completion	0	10/15/21	
WM100	Design-Builder Contingency Reduction (1%)	0	10/15/21	
WM70	Existing Convention Center Re-Open	0	10/18/21	
WM80	West Expansion Final Completion	0	02/16/22	
<b>FGMP #3 &amp; #5 - Hotel</b>				
HM10	FGMP No. 3 Board of County Commissioners Approval	0	06/15/21	
HM20	NTP FGMP No. 3 - Hotel Deep Foundations	0	06/22/21	
HM30	FGMP No. 5 Continuation Notice Issued	0	06/22/21	
HM40	FGMP No. 5 Repricing	120	06/22/21	10/19/21
HM50	FGMP No. 5 Submittal to County	0	10/20/21	
HM60	County Review FGMP No. 5 Submittal	30	10/20/21	11/18/21
HM70	FGMP No. 5 Board of County Commissioners Approval	21	11/19/21	12/11/21
HM80	Hotel Deep Foundations Complete	0	12/17/21	
HM80	NTP FGMP No. 5 - Hotel Construction	0	12/19/21	
HM100	Hotel Construction Complete	0	10/03/24	
HM110	Hotel Substantial Completion	0	11/18/24	
HM120	Hotel Final Completion	0	03/17/25	
<b>FGMP #4 - East Expansion</b>				
EM10	FGMP No. 4 Continuation Notice Issued	0	06/22/21	
EM20	FGMP No. 4 Repricing	120	06/22/21	10/19/21
EM30	FGMP No. 4 Submittal to County	0	10/20/21	
EM40	County Review FGMP No. 4 Submittal	30	10/20/21	11/18/21
EM50	FGMP No. 4 Board of County Commissioners Approval	21	11/19/21	12/11/21

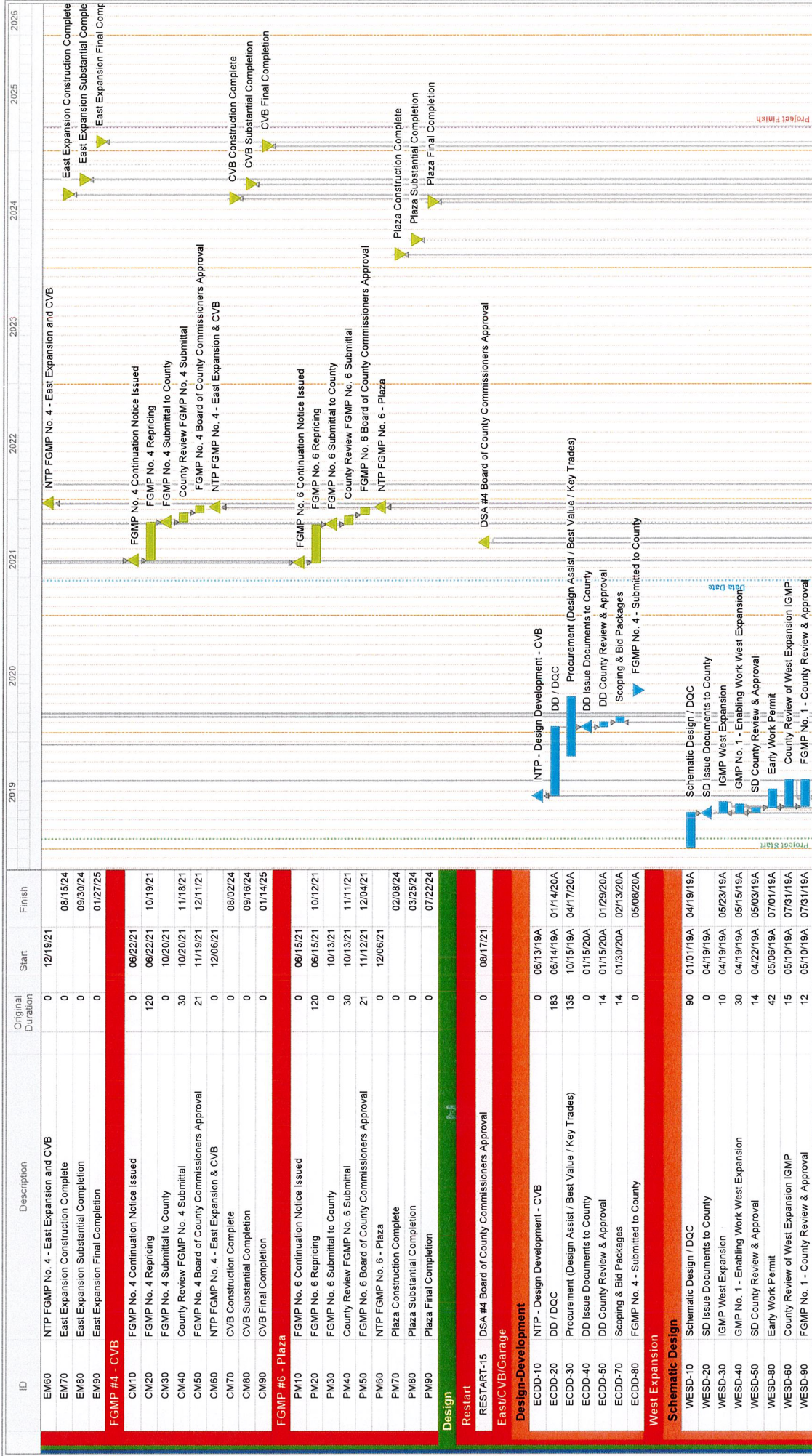
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Broward County Convention Center Expansion & Hotel  
Master Development Schedule  
FGMP No. 3

Start Date: 05/01/19  
Finish Date: 03/17/25  
Run Date: 06/03/21

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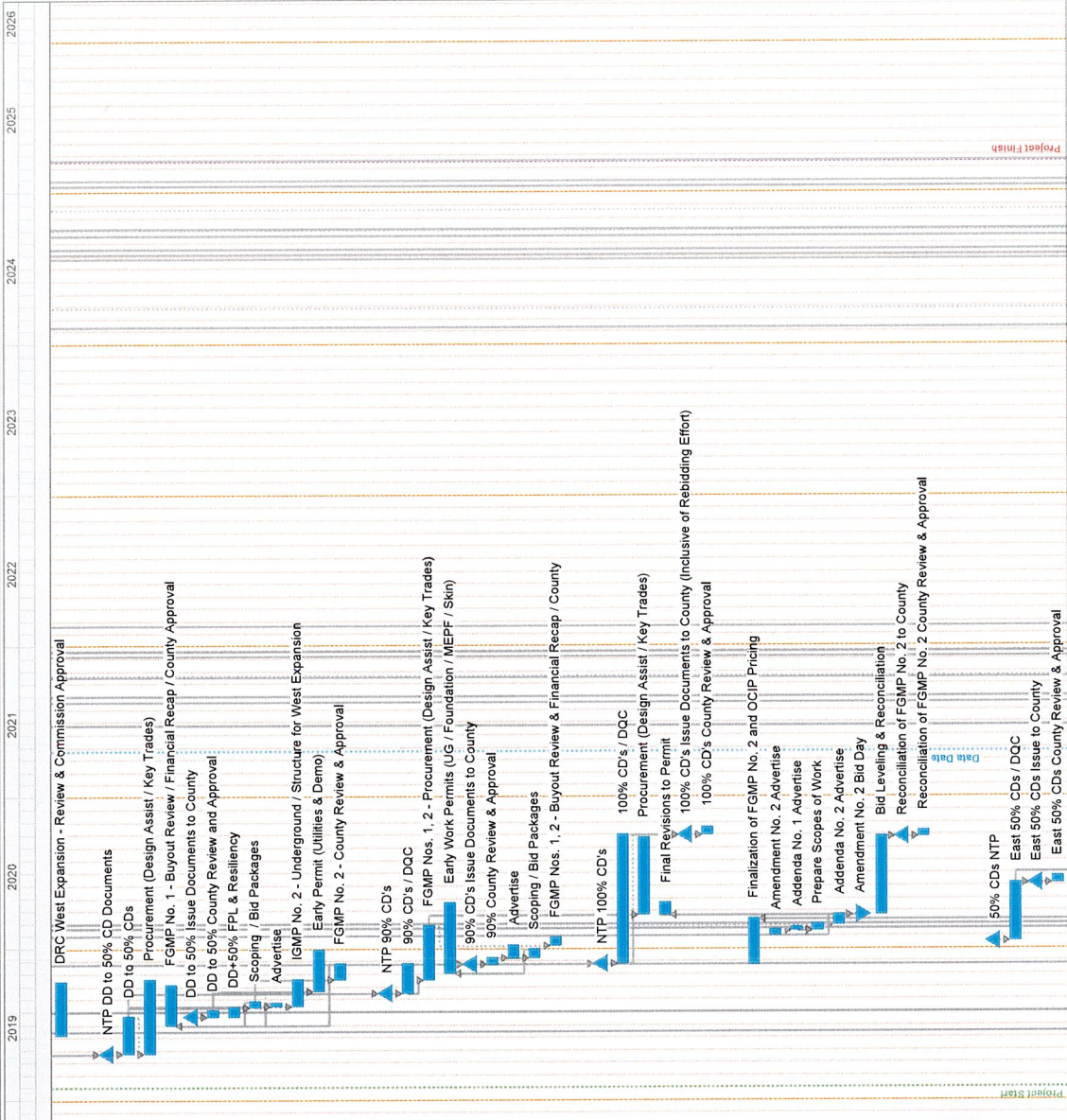


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## Broward County Convention Center Expansion & Hotel Master Development Schedule FGMP No. 3

Start Date: 02/01/19  
 Finish Date: 03/17/25  
 Run Date: 06/03/21





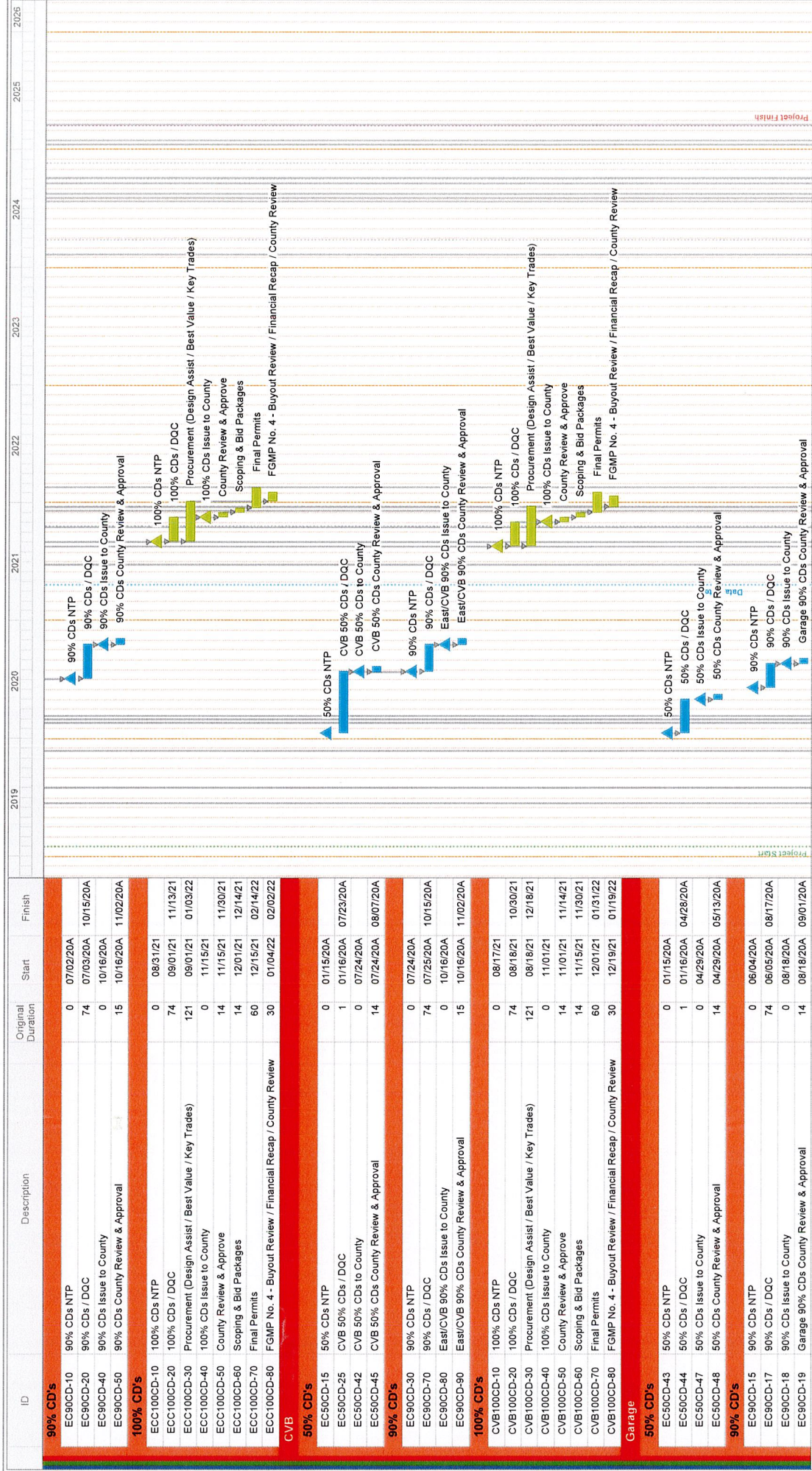
ID	Description	Original Duration	Start	Finish
WESD-70	DRC West Expansion - Review & Commission Approval	55	06/04/19A	10/10/19A
<b>DD+50% CD's</b>				
WES0CD-10	NTP DD to 50% CD Documents	0	04/20/19A	07/18/19A
WES0CD-20	DD to 50% CD's	90	04/21/19A	10/15/19A
WES0CD-30	Procurement (Design Assist / Key Trades)	176	04/21/19A	10/15/19A
WES0CD-40	FGMP No. 1 - Buyout Review / Financial Recap / County Approval	46	06/28/19A	10/02/19A
WES0CD-50	DD to 50% Issue Documents to County	0	07/19/19A	
WES0CD-60	DD to 50% County Review and Approval	14	07/19/19A	08/02/19A
WES0CD-70	DD+50% FPL & Resiliency	1	07/19/19A	08/09/19A
WES0CD-80	Scoping / Bid Packages	15	08/10/19A	08/23/19A
WES0CD-90	Advertise	22	08/13/19A	08/20/19A
WES0CD-100	IGMP No. 2 - Underground / Structure for West Expansion	46	08/13/19A	10/15/19A
WES0CD-120	Early Permit (Utilities & Demo)	61	09/18/19A	12/26/19A
WES0CD-130	FGMP No. 2 - County Review & Approval	12	10/16/19A	11/22/19A
<b>90% CD's</b>				
WES90CD-10	NTP 90% CD's	0	09/13/19A	
WES90CD-20	90% CD's / DQC	42	09/13/19A	11/22/19A
WES90CD-30	FGMP Nos. 1, 2 - Procurement (Design Assist / Key Trades)	188	10/15/19A	02/21/20A
WES90CD-40	Early Work Permits (UG / Foundation / MEPF / Skin)	64	10/31/19A	04/07/20A
WES90CD-60	90% CD's Issue Documents to County	0	11/22/19A	
WES90CD-70	90% County Review & Approval	19	11/22/19A	12/06/19A
WES90CD-80	Advertise	30	12/07/19A	01/05/20A
WES90CD-90	Scoping / Bid Packages	14	12/07/19A	12/27/19A
WES90CD-90	FGMP Nos. 1, 2 - Buyout Review & Financial Recap / County	22	01/06/20A	01/24/20A
<b>100% CD's</b>				
WE100CD-10	NTP 100% CD's	0	11/23/19A	
WE100CD-20	100% CD's / DQC	163	11/24/19A	09/28/20A
WE100CD-30	Procurement (Design Assist / Key Trades)	155	03/20/20A	09/21/20A
WE100CD-80	Final Revisions to Permit	60	03/20/20A	04/17/20A
WE100CD-40	100% CD's Issue Documents to County (Inclusive of Rebuilding Effort)	0	09/29/20A	
WE100CD-50	100% CD's County Review & Approval	15	09/29/20A	10/16/20A
<b>Amendment 2 - OCIP/Acceleration</b>				
AM2-WE100CD-10	Finalization of FGMP No. 2 and OCIP Pricing	85	11/22/19A	03/09/20A
AM2-WE100CD-20	Amendment No. 2 Advertise	12	01/31/20A	02/11/20A
AM2-WE100CD-30	Addenda No. 1 Advertise	7	02/11/20A	02/17/20A
AM2-WE100CD-40	Prepare Scopes of Work	15	02/11/20A	02/25/20A
AM2-WE100CD-50	Addenda No. 2 Advertise	24	02/25/20A	03/19/20A
AM2-WE100CD-60	Amendment No. 2 Bid Day	0	03/19/20A	
AM2-WE100CD-70	Bid Leveling & Reconciliation	32	03/20/20A	09/24/20A
AM2-WE100CD-80	Reconciliation of FGMP No. 2 to County	0	09/25/20A	
AM2-WE100CD-90	Reconciliation of FGMP No. 2 County Review & Approval	15	09/25/20A	10/08/20A
<b>East Expansion</b>				
EC50CD-10	50% CD's NTP	0	01/15/20A	
EC50CD-20	East 50% CD's / DQC	74	01/16/20A	06/03/20A
EC50CD-40	East 50% CD's Issue to County	0	06/04/20A	
EC50CD-50	East 50% CD's County Review & Approval	14	06/04/20A	06/19/20A

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### Broward County Convention Center Expansion & Hotel Master Development Schedule FGMP No. 3

Start Date: 02/01/19  
 Finish Date: 03/17/25  
 Run Date: 06/03/21

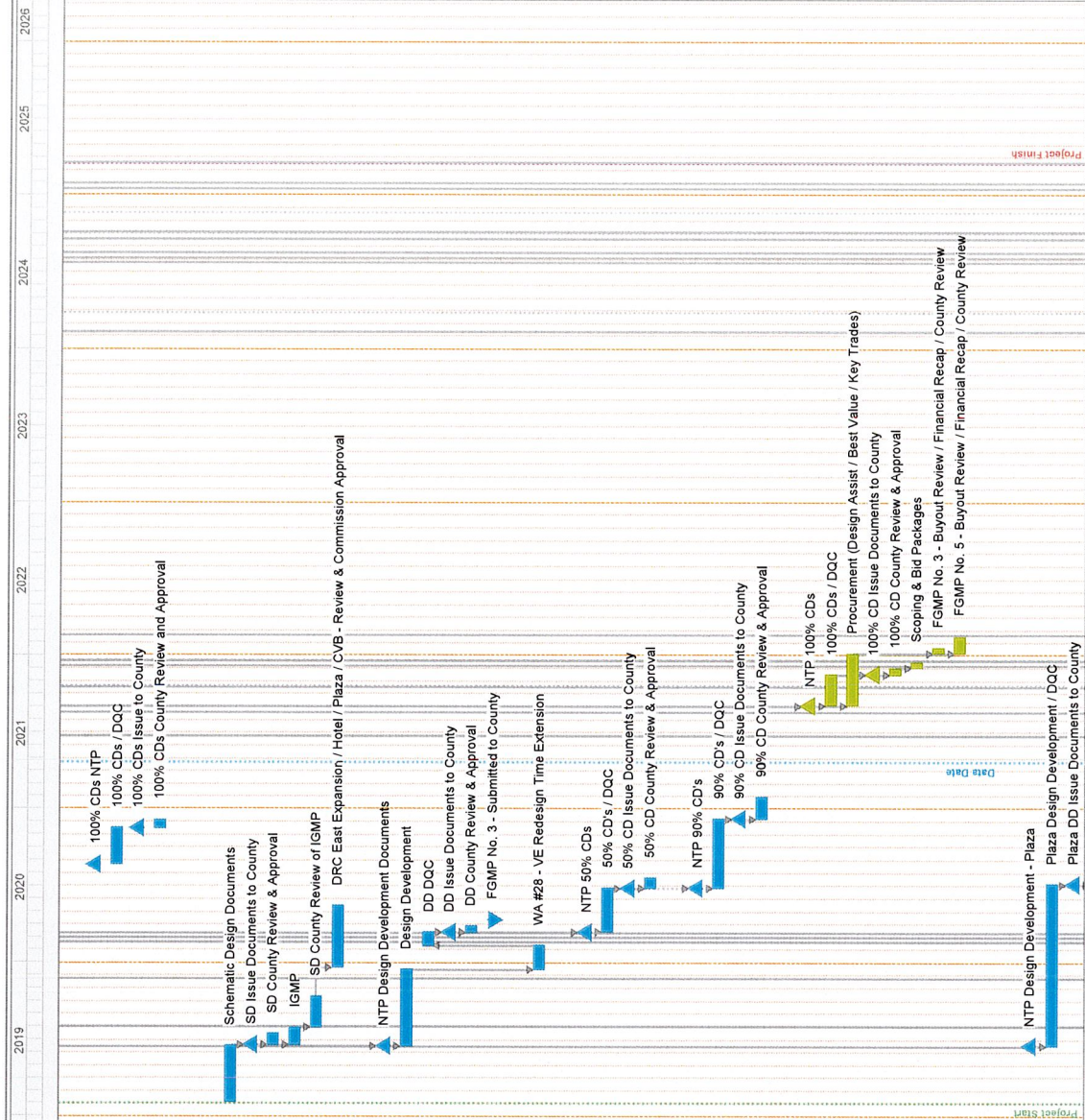


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## Broward County Convention Center Expansion & Hotel Master Development Schedule FGMP No. 3

Start Date: 02/01/19  
 Finish Date: 03/03/23  
 Run Date: 08/03/21

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ID	Description	Original Duration	Start	Finish
<b>100% CD's</b>				
EC100CD-10	100% CDs NTP	0	08/18/20A	
EC100CD-20	100% CDs / DQC	1	08/19/20A	11/13/20A
EC100CD-30	100% CDs Issue to County	0	11/13/20A	
EC100CD-40	100% CDs County Review and Approval	14	11/13/20A	12/01/20A
<b>Hotel</b>				
<b>Schematic Design</b>				
HOSD-10	Schematic Design Documents	110	02/01/19A	06/14/19A
HOSD-20	SD Issue Documents to County	0	06/17/19A	
HOSD-30	SD County Review & Approval	10	06/17/19A	07/12/19A
HOSD-40	IGMP	21	06/17/19A	07/26/19A
HOSD-50	SD County Review of IGMP	52	07/28/19A	10/08/19A
HOSD-60	DRC East Expansion / Hotel / Plaza / CVB - Review & Commission /	95	12/18/19A	05/12/20A
<b>Design-Development</b>				
HODD-10	NTP Design Development Documents	0	06/14/19A	
HODD-20	Design Development	165	06/14/19A	12/12/19A
HODD-22	DD DQC	32	02/09/20A	03/10/20A
HODD-40	DD Issue Documents to County	0	03/11/20A	
HODD-50	DD County Review & Approval	14	03/11/20A	03/24/20A
HODD-110	FGMP No. 3 - Submitted to County	0		04/08/20A
<b>Design Adjustments</b>				
HODD-25	WA #28 - VE Redesign Time Extension	56	12/13/19A	02/07/20A
<b>50% CD's</b>				
HO50CD-10	NTP 50% CDs	0	03/11/20A	
HO50CD-20	50% CDs / DQC	104	03/12/20A	06/23/20A
HO50CD-50	50% CD Issue Documents to County	0	06/23/20A	
HO50CD-70	50% CD County Review & Approval	17	06/24/20A	07/17/20A
<b>90% CD's</b>				
HO90CD-10	NTP 90% CD's	0	06/24/20A	
HO90CD-20	90% CDs / DQC	74	06/24/20A	12/04/20A
HO90CD-50	90% CD Issue Documents to County	0	12/05/20A	
HO90CD-70	90% CD County Review & Approval	42	12/05/20A	01/25/21A
<b>100% CD's</b>				
HO100CD-10	NTP 100% CDs	0	08/31/21	
HO100CD-20	100% CDs / DQC	74	09/01/21	11/13/21
HO100CD-30	Procurement (Design Assist / Best Value / Key Trades)	121	09/01/21	01/03/22
HO100CD-40	100% CD Issue Documents to County	0	11/14/21	
HO100CD-50	100% CD County Review & Approval	14	11/14/21	11/29/21
HO100CD-60	Scoping & Bid Packages	14	11/30/21	12/13/21
HO100CD-70	FGMP No. 3 - Buyout Review / Financial Recap / County Review	14	01/04/22	01/17/22
HO100CD-80	FGMP No. 5 - Buyout Review / Financial Recap / County Review	30	01/04/22	02/14/22
<b>Plaza</b>				
<b>Design-Development</b>				
PLDD-10	NTP Design Development - Plaza	0	06/14/19A	
PLDD-20	Plaza Design Development / DQC	200	06/14/19A	07/02/20A
PLDD-40	Plaza DD Issue Documents to County	0	07/02/20A	

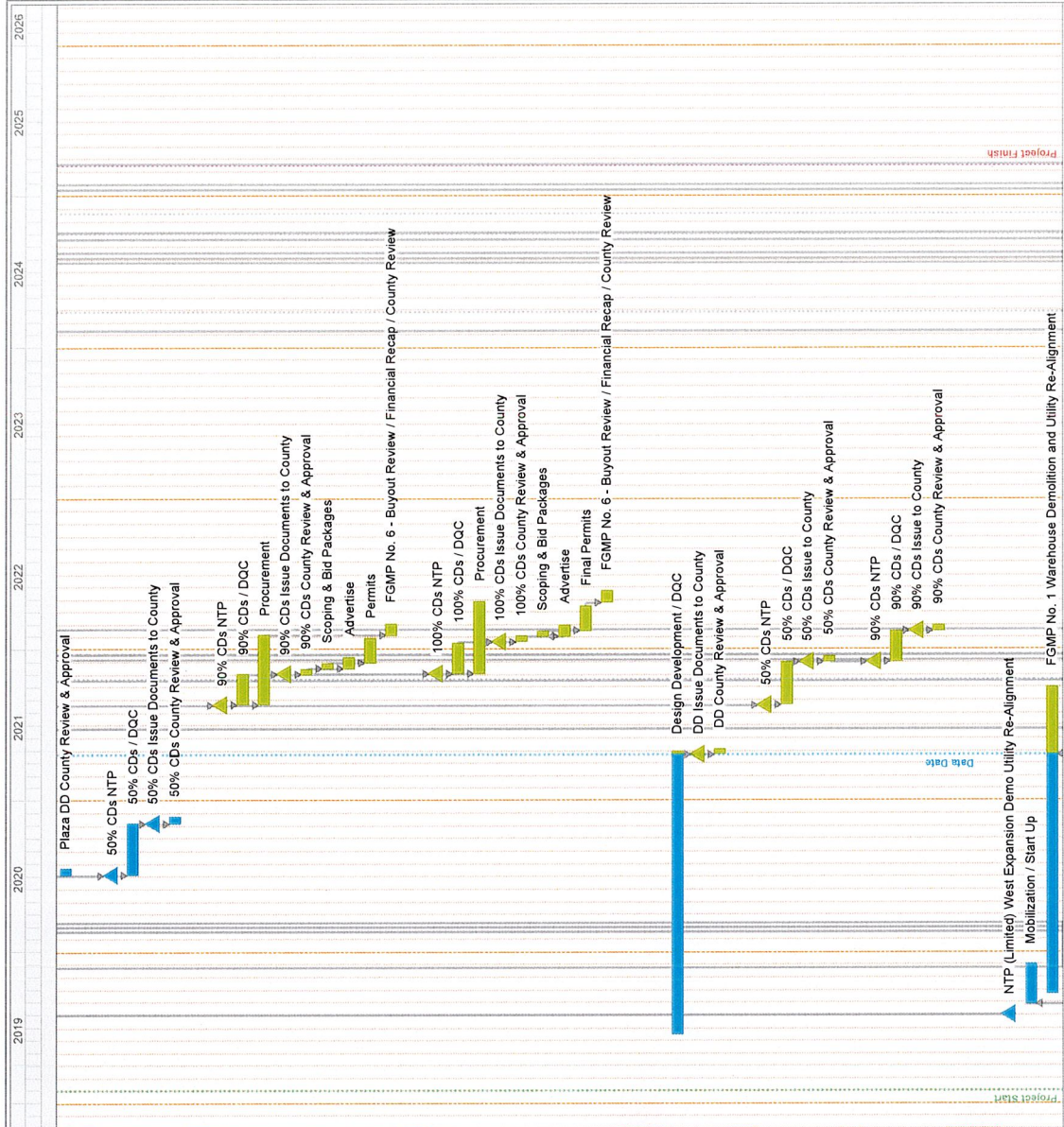


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## Broward County Convention Center Expansion & Hotel Master Development Schedule FGMP No. 3

Start Date: 02/01/19  
 Finish Date: 05/17/22  
 Run Date: 06/03/21





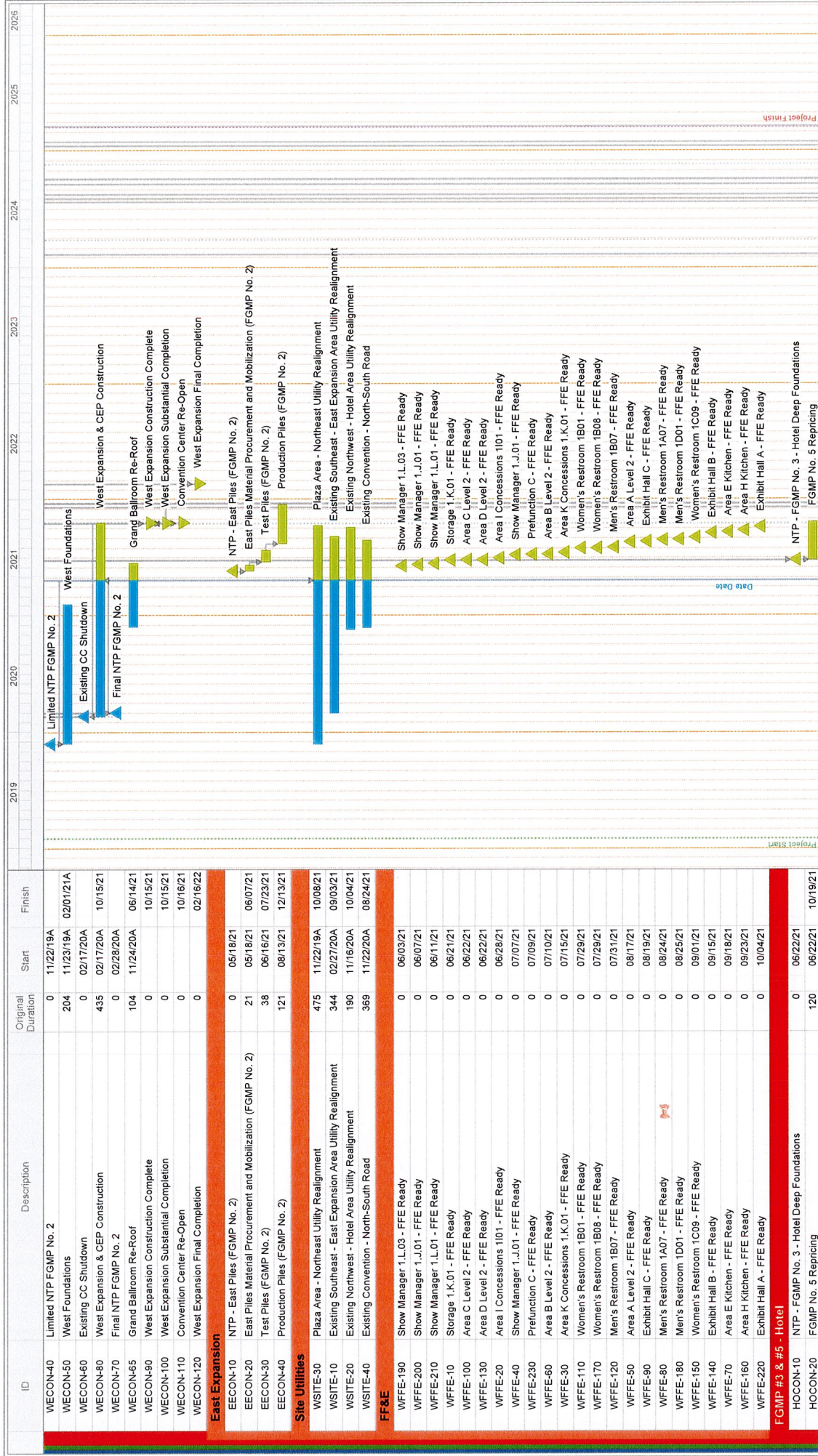
ID	Description	Original Duration	Start	Finish
PLDD-50	Plaza DD County Review & Approval	14	07/03/20A	07/17/20A
<b>50% CD's</b>				
PL50CD-10	50% CD's NTP	0	07/02/20A	
PL50CD-20	50% CD's / DQC	105	07/03/20A	11/03/20A
PL50CD-40	50% CD's Issue Documents to County	0	11/04/20A	
PL50CD-50	50% CD's County Review & Approval	14	11/04/20A	11/19/20A
<b>90% CD's</b>				
PL90CD-10	90% CD's NTP	0	08/17/21	
PL90CD-20	90% CD's / DQC	74	08/18/21	10/30/21
PL90CD-30	Procurement	169	08/18/21	02/02/22
PL90CD-40	90% CD's Issue Documents to County	0	10/31/21	
PL90CD-50	90% CD's County Review & Approval	14	10/31/21	11/13/21
PL90CD-60	Scoping & Bid Packages	14	11/14/21	11/27/21
PL90CD-70	Advertise	30	11/14/21	12/13/21
PL90CD-80	Permits	60	11/28/21	01/26/22
PL90CD-90	FGMP No. 6 - Buyout Review / Financial Recap / County Review	30	02/03/22	03/04/22
<b>100% CD's</b>				
PL100CD-10	100% CD's NTP	0	11/01/21	
PL100CD-20	100% CD's / DQC	75	11/01/21	01/14/22
PL100CD-30	Procurement	121	11/02/21	04/25/22
PL100CD-40	100% CD's Issue Documents to County	0	01/17/22	
PL100CD-50	100% CD's County Review & Approval	14	01/17/22	01/30/22
PL100CD-60	Scoping & Bid Packages	14	01/31/22	02/13/22
PL100CD-70	Advertise	30	01/31/22	03/01/22
PL100CD-80	Final Permits	60	02/14/22	04/14/22
PL100CD-90	FGMP No. 6 - Buyout Review / Financial Recap / County Review	30	04/22/22	05/21/22
<b>Plaza Restaurants</b>				
<b>Design-Development</b>				
PLDD-50	Design Development / DQC	400	06/14/19A	04/19/21
PLDD-65	DD Issue Documents to County	0	04/20/21	
PLDD-70	DD County Review & Approval	14	04/20/21	05/03/21
<b>50% CD's</b>				
PL50CD-60	50% CD's NTP	0	08/17/21	
PL50CD-70	50% CD's / DQC	104	08/18/21	11/29/21
PL50CD-75	50% CD's Issue to County	0	11/30/21	
PL50CD-80	50% CD's County Review & Approval	14	11/30/21	12/13/21
<b>90% CD's</b>				
PL90CD-100	90% CD's NTP	0	11/30/21	
PL90CD-110	90% CD's / DQC	74	12/01/21	02/12/22
PL90CD-75	90% CD's Issue to County	0	02/13/22	
PL90CD-120	90% CD's County Review & Approval	14	02/13/22	02/26/22
<b>Construction</b>				
<b>FGMP #1 &amp; #2 - West Expansion</b>				
WECON-10	NTP (Limited) West Expansion Demo Utility Re-Alignment	0	07/31/19A	
WECON-20	Mobilization / Start Up	60	08/26/19A	11/28/19A
WECON-30	FGMP No. 1 Warehouse Demolition and Utility Re-Alignment	27	09/20/19A	09/30/21



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Start Date: 02/01/19  
 Finish Date: 03/17/25  
 Run Date: 06/03/21



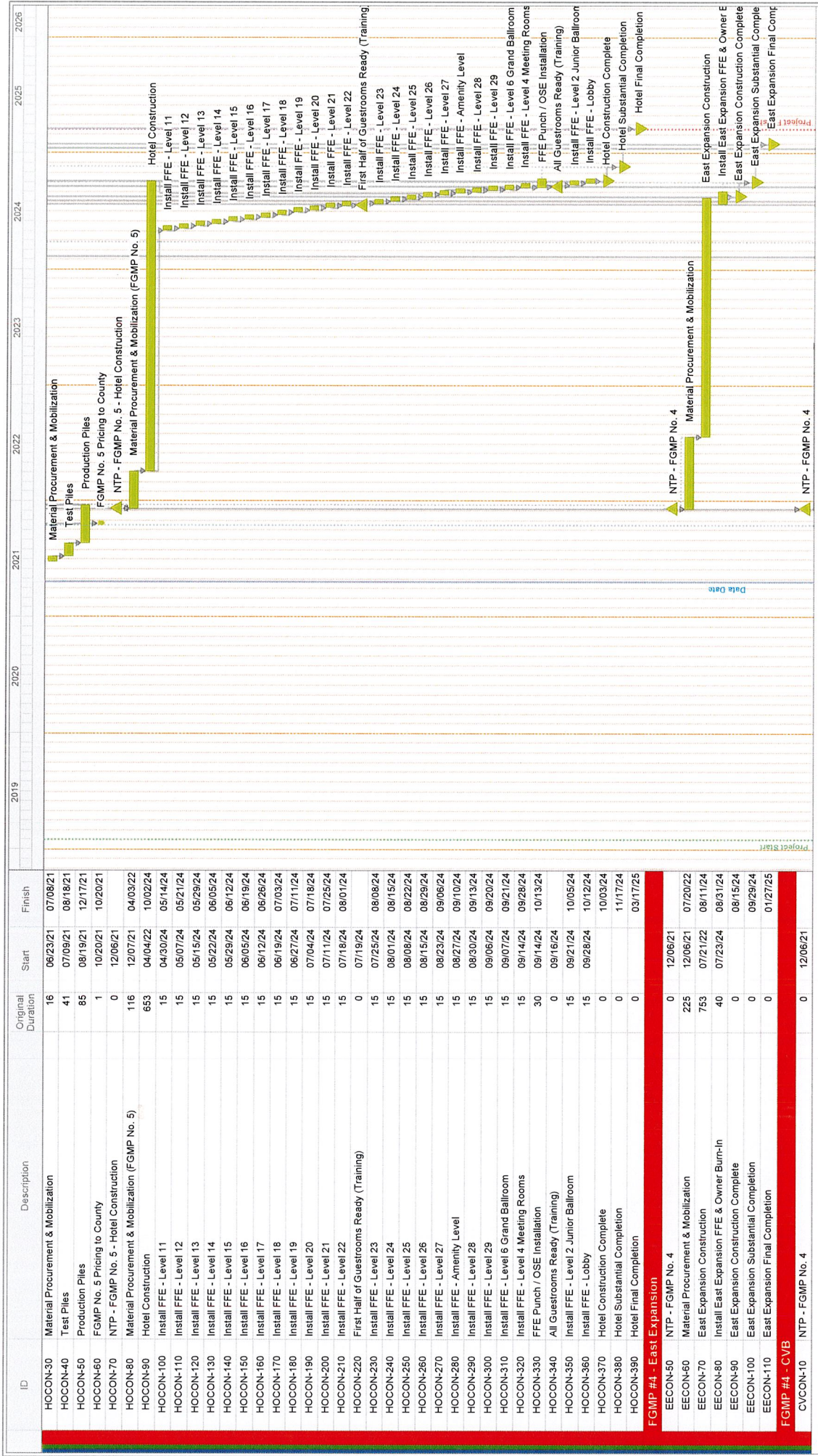
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### Broward County Convention Center Expansion & Hotel Master Development Schedule FGMP No. 3

Start Date: 02/01/19  
 Finish Date: 03/17/25  
 Run Date: 06/03/21

ID	Description	Original Duration	Start	Finish
WECON-40	Limited NTP FGMP No. 2	0	11/22/19A	02/01/21A
WECON-50	West Foundations	204	11/23/19A	02/01/21A
WECON-60	Existing CC Shutdown	0	02/17/20A	10/15/21
WECON-80	West Expansion & CEP Construction	435	02/17/20A	10/15/21
WECON-70	Final NTP FGMP No. 2	0	02/28/20A	06/14/21
WECON-65	Grand Ballroom Re-Roof	104	11/24/20A	10/15/21
WECON-90	West Expansion Construction Complete	0	10/15/21	10/15/21
WECON-100	West Expansion Substantial Completion	0	10/15/21	10/15/21
WECON-110	Convention Center Re-Open	0	10/16/21	10/16/21
WECON-120	West Expansion Final Completion	0	02/16/22	02/16/22
<b>East Expansion</b>				
EECON-10	NTP - East Piles (FGMP No. 2)	0	05/18/21	06/07/21
EECON-20	East Piles Material Procurement and Mobilization (FGMP No. 2)	21	05/18/21	06/07/21
EECON-30	Test Piles (FGMP No. 2)	38	06/16/21	07/23/21
EECON-40	Production Piles (FGMP No. 2)	121	08/13/21	12/13/21
<b>Site Utilities</b>				
WSITE-30	Plaza Area - Northeast Utility Realignment	475	11/22/19A	10/08/21
WSITE-10	Existing Southeast - East Expansion Area Utility Realignment	344	02/27/20A	09/03/21
WSITE-20	Existing Northwest - Hotel Area Utility Realignment	190	11/16/20A	10/04/21
WSITE-40	Existing Convention - North-South Road	369	11/22/20A	08/24/21
<b>FF&amp;E</b>				
WFFE-190	Show Manager 1.L.03 - FFE Ready	0	06/03/21	
WFFE-200	Show Manager 1.J.01 - FFE Ready	0	06/07/21	
WFFE-210	Show Manager 1.L.01 - FFE Ready	0	06/11/21	
WFFE-10	Storage 1.K.01 - FFE Ready	0	06/21/21	
WFFE-100	Area C Level 2 - FFE Ready	0	06/22/21	
WFFE-130	Area D Level 2 - FFE Ready	0	06/22/21	
WFFE-20	Area I Concessions 101 - FFE Ready	0	06/28/21	
WFFE-40	Show Manager 1.J.01 - FFE Ready	0	07/07/21	
WFFE-230	Prefunction C - FFE Ready	0	07/09/21	
WFFE-60	Area B Level 2 - FFE Ready	0	07/10/21	
WFFE-30	Area K Concessions 1.K.01 - FFE Ready	0	07/15/21	
WFFE-110	Women's Restroom 1B01 - FFE Ready	0	07/29/21	
WFFE-170	Women's Restroom 1B08 - FFE Ready	0	07/29/21	
WFFE-120	Men's Restroom 1B07 - FFE Ready	0	07/31/21	
WFFE-50	Area A Level 2 - FFE Ready	0	08/17/21	
WFFE-90	Exhibit Hall C - FFE Ready	0	08/19/21	
WFFE-80	Men's Restroom 1A07 - FFE Ready	0	08/24/21	
WFFE-180	Men's Restroom 1D01 - FFE Ready	0	08/25/21	
WFFE-150	Women's Restroom 1C09 - FFE Ready	0	09/01/21	
WFFE-140	Exhibit Hall B - FFE Ready	0	09/15/21	
WFFE-70	Area E Kitchen - FFE Ready	0	09/18/21	
WFFE-160	Area H Kitchen - FFE Ready	0	09/23/21	
WFFE-220	Exhibit Hall A - FFE Ready	0	10/04/21	
<b>FGMP #3 &amp; #5 - Hotel</b>				
HOCON-10	NTP - FGMP No. 3 - Hotel Deep Foundations	0	06/22/21	10/19/21
HOCON-20	FGMP No. 5 Repricing	120	06/22/21	10/19/21

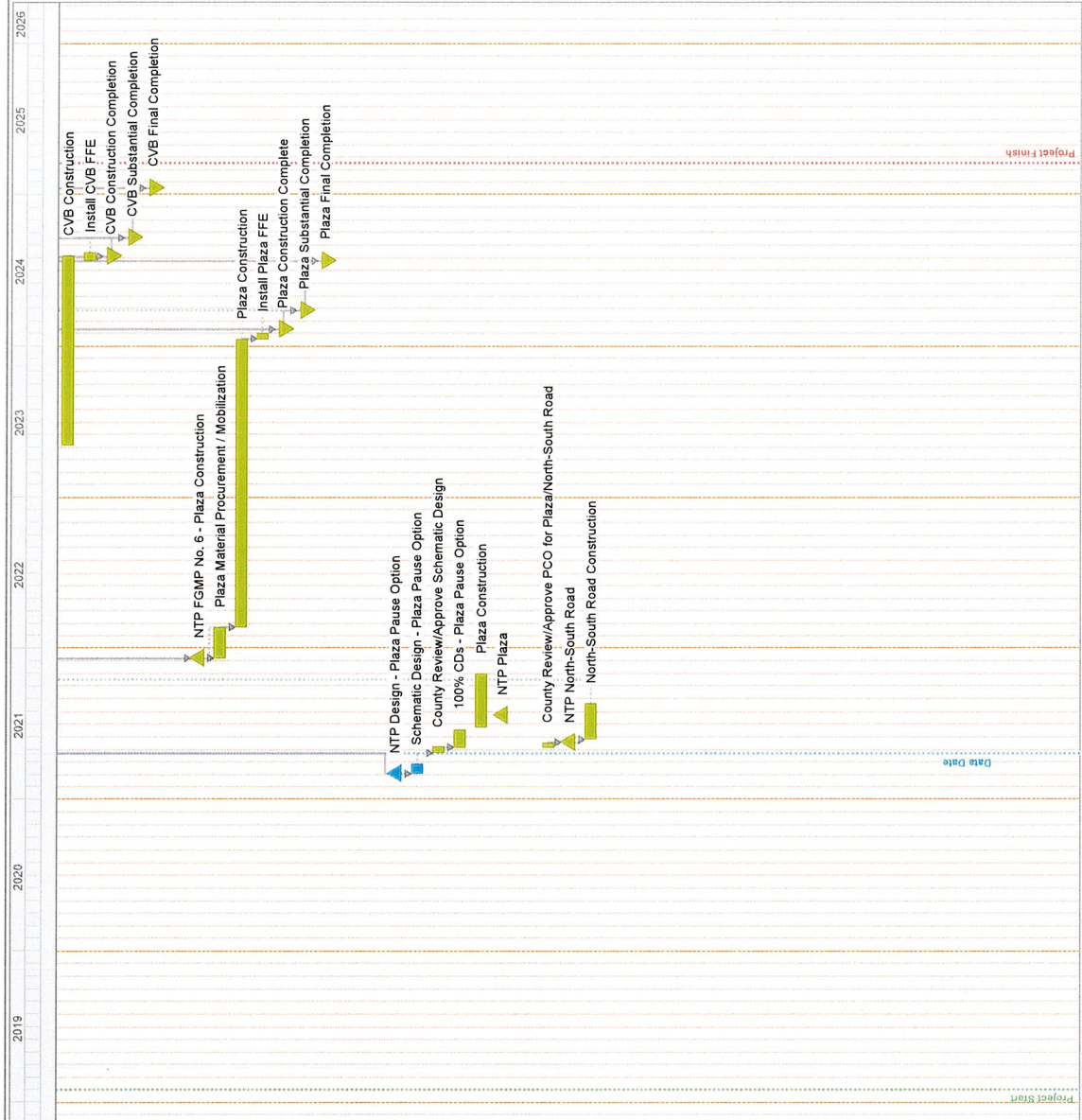


Start Date: 02/01/19  
 Run Date: 06/03/21

### Broward County Convention Center Expansion & Hotel Master Development Schedule FGMP No. 3

NOTE: The Hotel Project, East Expansion, Plaza Improvements, and CVB Office (the "Suspended Projects") have been suspended by the County pursuant to the Master Development Agreement dated June 25, 2020 and, as of the date hereof, the County has not lifted the suspension for the Suspended Projects. The substantial completion and final completion dates identified in this schedule for the Suspended Projects are estimated completion dates provided at the request of the County and are not intended to serve as Scheduled Dates of Substantial Completion or dates for Final Completion under the terms of the Master Development Agreement.





ID	Description	Original Duration	Start	Finish
CVCON-20	CVB Construction	456	05/05/23	08/02/24
CVCON-40	Install CVB FFE	20	07/23/24	08/11/24
CVCON-30	CVB Construction Completion	0	08/02/24	08/02/24
CVCON-50	CVB Substantial Completion	0	09/16/24	09/16/24
CVCON-60	CVB Final Completion	0	01/14/25	01/14/25
<b>FGMP #6 - Plaza</b>				
PLCON-30	NTP FGMP No. 6 - Plaza Construction	0	12/06/21	02/18/22
PLCON-40	Plaza Material Procurement / Mobilization	73	12/06/21	02/18/22
PLCON-50	Plaza Construction	697	02/19/22	01/16/24
PLCON-70	Install Plaza FFE	15	01/17/24	01/31/24
PLCON-60	Plaza Construction Complete	0	02/08/24	02/08/24
PLCON-80	Plaza Substantial Completion	0	03/24/24	03/24/24
PLCON-90	Plaza Final Completion	0	07/22/24	07/22/24
<b>FGMP #2 Modifications, Option 2</b>				
<b>Plaza</b>				
PLPAUSE-10	NTP Design - Plaza Pause Option	0	03/02/21A	03/02/21A
PLPAUSE-20	Schematic Design - Plaza Pause Option	15	03/02/21A	03/22/21A
PLPAUSE-25	County Review/Approve Schematic Design	10	04/21/21	05/04/21
PLPAUSE-30	100% CDs - Plaza Pause Option	30	05/05/21	06/16/21
PLPAUSE-40	Plaza Construction	94	06/22/21	10/29/21
PLPAUSE-35	NTP Plaza	0	07/21/21	07/21/21
<b>North-South Road</b>				
OPT2-PLZRD-40	County Review/Approve PCO for Plaza/North-South Road	10	05/03/21	05/14/21
OPT2-PLZRD-45	NTP North-South Road	0	05/17/21	05/17/21
OPT2-PLZRD-50	North-South Road Construction	61	05/24/21	08/17/21

Start Date: 02/01/19  
 Finish Date: 03/17/25  
 Run Date: 06/03/21

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### Broward County Convention Center Expansion & Hotel Master Development Schedule FGMP No. 3

NOTE: The Hotel Project, East Expansion, Plaza Improvements, and CVB Office (the "Suspended Projects") have been suspended by the County pursuant to the Master Development Agreement dated June 25, 2020 and, as of the date hereof, the County has not lifted the suspension for the Suspended Projects. The substantial completion and final completion dates identified in this schedule for the Suspended Projects are estimated completion dates provided at the request of the County and are not intended to serve as Scheduled Dates of Substantial Completion or dates for Final Completion under the terms of the Master Development Agreement.

## **Scrivener's errors for Agenda Item No. 105**

**Item #105, Motion B** – remove words “Eastern Expansion and”

### **Summary Explanation/Background, Paragraph 7**

#### **Currently read:**

Motion B. The building permit costs for the East Expansion and Headquarters Hotel would normally be included in the respective GMPs 4 and 5 for those projects. To accelerate the project, work on final design associated with permitting can be completed and building permits obtained while final costs for GMPs 4 and 5 are developed and presented to the Board for approval.

#### **Should read:**

Motion B. The building permit costs for the Headquarters Hotel would normally be included in GMP 5. To accelerate the project, work on final design associated with permitting can be completed and building permits obtained while final costs for GMP 5 is developed and presented to the Board for approval.

### **Fiscal Impact/Cost Summary**

#### **Currently read:**

This contract will.....

#### **Should Read:**

This contract **and related project costs** will....



OFFICE OF ECONOMIC AND SMALL BUSINESS DEVELOPMENT  
Governmental Center Annex

115 S. Andrews Avenue, Room A680 • Fort Lauderdale, Florida 33301 • 954-357-6400 • FAX 954-357-5674

MEMORANDUM

DATE: June 10, 2021

TO: Bruce Ferguson, Capital Program Administrator  
Public Works Department

THRU: Sandy-Michael McDonald, Director  
Office of Economic and Small Business Development  
SANDY-MICHAEL MCDONALD  
Digitally signed by SANDY-MICHAEL MCDONALD  
Date: 2021.06.10 10:29:20 -04'00'

FROM: Maribel Feliciano, Assistant Director  
Office of Economic and Small Business Development  
MARIBEL FELICIANO  
Digitally signed by MARIBEL FELICIANO  
Date: 2021.06.10 09:32:14 -04'00'

SUBJECT: **Status Update No. 3 for RLI No. N1337414R3**  
Broward County Convention Center Expansion and Headquarter Hotel  
**Matthews Holding Southwest, Inc. – Developer**  
**Balfour Beatty – Design Builder**

CBE Compliance:

The CBE Goal for this contract is: **30%**

The Office of Economic and Small Business Development (OESBD) has conducted a review of Matthews Holding Southwest, Inc.'s CBE participation for the Convention Center Expansion and Headquarter Hotel project. An overview is as follows:

Per Monthly Utilization Reports (MUR) corresponding to GMP1 and GMP2 and submitted to OESBD on May 14, 2021, the following CBEs have been recruited to provide services on this project:

	<u>CBE Subcontractors</u>	<u>Contract Amount Per MUR</u>	<u>Reported Payments to CBEs</u>
1	"D" Electrician Technical Services, Inc.	\$54,334.77	\$54,334.77
2	A&E Construction Solutions, LLC	\$642,307.67	\$633,631.67
3	A. Herrmann Associates, Inc.	\$1,273,427.00	\$14,950.55
4	A.S.K. Cable Communications, Inc.	\$87,690.00	\$37,065.00
5	All Paving, Inc.	\$121,984.48	\$11,950.66
6	AlliedBean Demolition, Inc.	\$332,569.00	\$332,569.00
7	Amos Supply, Inc.	\$1,086,923.88	\$626,564.43
8	Arbor Electrical Service, Inc.	\$8,498,650.00	\$8,498,651.40
9	Bay to Bay Stone Restoration, Inc.	\$374,500.00	\$0.00
10	Big Dog Construction, Inc.	\$1,277,400.00	\$719,639.19
11	Bullnose Construction & Consultants, Inc.	\$6,956,568.80	\$6,849,918.79

	<u>CBE Subcontractors</u>	<u>Contract Amount Per MUR</u>	<u>Reported Payments to CBEs</u>
12	Challenge Air Mechanical, Inc.	\$798,074.77	\$234,218.32
13	Commercial Interior Contractors Corp.	\$169,735.00	\$3,539.68
14	Creative Terrazzo Systems, Inc.	\$123,943.00	\$0.00
15	Delta G Consulting Engineers, Inc.	\$100,000.00	\$95,753.75
16	Dudly's Professional Services, LLC	\$186,622.00	\$186,622.00
17	Florida Civil, Inc.	\$430,859.25	\$379,683.12
18	Florida Clear Energy, LLC	\$5,018,834.00	\$2,990,395.36
19	Florida Digital Reprographics Corp.	\$11,907.00	\$11,907.00
20	Francis Engineering, Inc.	\$1,925,533.57	\$1,014,667.71
21	GNM Hough, Inc.	\$6,193.00	\$0.00
22	H84 EXPORTS, LLC	\$70,075.63	\$70,075.63
23	Haymaker Construction, LLC	\$700,000.00	\$326,477.10
24	JAM Environmental & Vacuum Services, LLC	\$15,697.44	\$15,697.44
25	Kings Cup Inc.	\$7,122.11	\$7,122.11
26	Mega Construction Group, Inc.	\$645,000.00	\$49,751.64
27	Metal Design & Engineering , Inc.	\$8,586,250.00	\$5,291,548.70
28	MGM General Contracting Inc.	\$14,443,053.55	\$7,407,538.74
29	Micar Trucking, Inc.	\$147,073.49	\$135,487.05
30	Pipecon Corporation, Inc.	\$567,689.09	\$243,859.91
31	RCAN Don't Quit Corp dba PrideStaff #452	\$61,313.74	\$61,313.74
32	Scaff-Tech, Inc.	\$550,162.00	\$411,459.44
33	SCR MECHANICAL, LLC	\$682,134.57	\$115,880.38
34	Seldin Construction Co. Inc.	\$750,000.00	\$700,480.16
35	Smith Building, Inc.	\$1,034,234.00	\$444,672.78
36	Snapper Enterprise/Sandra L. Campbell	\$389,045.70	\$18,216.98
37	State-Line Products of South Florida, Inc.	\$1,978,570.00	\$402,828.33
38	T.A.J., LLC	\$16,000.00	\$16,000.00
39	The Office Cart, LLC	\$4,151.34	\$4,151.34
40	Thousand and One Painting Corporation	\$10,500.00	\$10,500.00
41	United Excavations, Inc.	\$150,000.00	\$99,617.75
	<b>Total Payments to CBEs</b>		<b><u>\$38,528,741.62</u></b>

- Total Payment Reported to Contractor per MURs dated 5/14/2021: \$71,864,004.32
- Total Payments Reported to CBEs per MURs dated 5/14/2021: \$38,528,741.62
- **Total CBE Participation to date: 53.61%** (\$38,528,741.62/ \$71,864,004.32)

Matthews Holding Southwest, Inc. committed to 30% CBE participation on this project and has attained 53.61% CBE participation to date. Satisfaction of the goal is being met by Matthews Holding Southwest, Inc. (Developer) thru Balfour Beatty, the Design Builder of the construction of the center and hotel. Per the Agreement “Design Builder” means Balfour Beatty Construction, LLC or such other qualified Design Builder as may be approved by the County.”

**Workforce Investment Program and Local Labor Compliance:**

The Economic Development Section of the Office of Economic and Small Business Development (OESBD) continues to work closely with Balfour Beatty (BB) and CareerSource Broward (CSB) to ensure compliance with the Local Labor and Workforce Investment Program requirements.

On February 19, 2021, OESBD, CSB, and BB hosted a webinar with BB’s subcontractors to review the following:

- Data collection
- Requirements for the Workforce Investment Program
- Local Labor Compliance
- First Source Agreement

Over 25 subcontractors attended this meeting, and information was shared to ensure that the data collected by them would meet the data requirements for compliance purposes. Additionally, on May 05, 2021, OESBD, CSB, and BB conducted a job fair. This job fair was a hiring event for the subcontractors to secure local labor. Lastly, on May 26, 2021, BB hosted an Industry Construction Forum with CSB and OESBD. Employers from over 35 industries and various educational partners attended.

OESBD will continue to work with BB to monitor compliance and provide assistance with the Workforce Investment Program (WIP) as well as to facilitate the use of CareerSource Broward for training and recruiting on projects.

cc: Alan J. Cohen, Assistant County Administrator  
Glenn Gutheil, Matthews Holding Southwest, Inc.  
John Parker, Vice President of Operations, Balfour Beatty  
Oswaldo Casco, Small Business Development Supervisor, OESBD  
Daryl Perez-Rosenbaum, Program /Project Coordinator; Senior, OESBD