



Environmental Protection and Growth Management Department
ENVIRONMENTAL ENGINEERING AND PERMITTING DIVISION
Water and Environmental Licensing Section
1 North University Drive, Mailbox 201, Plantation, Florida 33324
Phone * 954-519-1483 Fax * 954-519-1412

October 27, 2020

City of Sunrise
Attention: Alan Gavazzi, Capital Projects Director
777 Sawgrass Corporate Parkway
Sunrise, FL 33325

RE: Sunrise City Hall Enabling Package
City of Sunrise, S/T/R (19-49-41)

This is to notify you of the Environmental Protection and Growth Management Department's (EPGMD) action concerning your application received 07/09/2019. The application has been reviewed for compliance with the following requirements:

MSSW Review - GRANTED

EPGMD has the authority to review the project for compliance with the provisions of Chapter 373, Part IV, Florida Statutes pursuant to an agreement between EPGMD, DEP and the SFWMD. The agreement is outlined in a document entitled "DELEGATION AGREEMENT AMONG THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, THE SOUTH FLORIDA WATER MANAGEMENT DISTRICT, AND BROWARD COUNTY."

Based on the information submitted, Surface Water General Permit No. 06-00240-S was issued on 10/27/2020.

Should you object to the conditions of the Environmental Resource Permit, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the attached "Notice of Rights", we will assume you concur with the action taken by EPGMD.

Broward County Surface Water Management Review - GRANTED

EPGMD has reviewed the project for compliance with the Surface Water Management requirements of Chapter 27, Article V Sec. 27-191 through 27-202 of the Broward County Code.

Based on the information submitted, Surface Water Management License No. SWM1993-012-5 was issued on 10/27/2020. The above named licensee is hereby authorized to perform the work or operate the facility shown on the approved drawing(s), plans, documents and specifications, as submitted by licensee, and made a part hereof.

Please be advised that no Certificate of Occupancy can be issued on this project until released, in writing, by all EPGMD divisions as required. Such release will be pending approval of any engineering certifications required by specific condition No. 15.

Broward County Environmental Resource License Review - GRANTED

EPGMD has reviewed the project, and the construction shall be in accordance with Application DEP form 62-343.900 (1), the EPGMD Addendum, and all associated information received on 01/09/2020. Based on the information submitted, the plans have been approved and stamped with Broward County Environmental Resource License (ERL) No. DF20-1011.

The above referenced approvals will remain in effect subject to the following:

1. Not receiving a filed request for a Chapter 120, Florida Statutes administrative hearing;
2. the attached SFWMD Standard Limiting Conditions;
3. the attached SFWMD Special Conditions;
4. the attached Broward County General Conditions;
5. the attached Broward County Specific Conditions;
6. the attached 29 exhibits.

Issuance of the above referenced Broward County license(s) constitutes a final agency determination. A person with a substantial interest may file a petition to request review of or to intervene in a review of a final administrative determination, subject to the provisions of Section 27-14, Broward County Code of Ordinance.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on 10/27/2020, in accordance with Section 120.60 (3), Florida Statutes.

By: **JOHANA NARVAEZ** _____

Digitally signed by JOHANA
NARVAEZ
Date: 2020.10.27 11:06:15 -04'00'

Johana Narvaez, M.S., Environmental Program Manager
Surface Water Management Program

Enclosed are the following:

- executed staff report;
- set(s) of stamped and approved plans;
- Notice of Rights; and
- Inspection Guidelines Brochure.



Broward County Board of County Commissioners
Environmental Engineering and Permitting Division

Surface Water Management Program

“What to Expect When We Are Inspecting Surface Water Management Systems”

A guideline for **engineers, contractors, and licensees** of surface water management systems when applying for the release of Certificate(s) of Occupancy.

The intent of this document is to establish some guidelines to achieve compliance with the Code while maximizing customer service needs to licensees and their agents and the local building departments by facilitating the Certificate(s) of Occupancy (CO) release procedure for building projects. It is also the intent of this document to encourage licensees and their agents and the local building departments to not put our inspection staff on the “critical path”. ***We recognize that the local building departments must adhere to the requirements of the Florida Building Code and the requirements of Article I of the Broward County Natural Resource Protection Code.***

The Environmental Engineering and Permitting Division (EPPD) - Surface Water Management Licensing program has the responsibility of reviewing designs, licensing, and inspecting surface water management systems within portions of Broward County under the provisions of the Broward County Natural Resource Protection Code, Chapter 27, Section 27-191 through Section 27-201. This includes enforcement for the purpose of protecting our natural resources. This document contains specific information about the EPPD’s surface water management inspection procedures, review of record/as-built drawings, and time required to complete the procedure successfully. Please be advised this document may be included with the approved license and may be modified on an as-needed basis.

The following certification package must be submitted at least two (2) weeks prior to the anticipated date of occupancy; exceptions may be made on a case by case basis.

Note: Item 1 is not applicable to plans stamped as General Licenses (GL##-###). Items 2 & 3 may apply to GL if plans are stamped for construction certification.

1. Final Record/As-built Drawings (hard copy and electronic) of the site, lake/canal slopes, control structure(s) or overflow structure(s) (where applicable), and Finished Floor Elevation(s); etc.
2. Signed and sealed letter from a Florida-Registered Professional Engineer certifying all components of the surface water management system were constructed in substantial conformance with the approved plans; and
3. When requesting a partial certification include a \$100 partial certification fee (fees are subject to change). The certifying engineer must indicate that a substantial amount of the water management system has been constructed to serve the partial phase to satisfy the water quality and water quantity requirements of the Code and exactly which lots/buildings are requested for release.

Staff will perform an inspection on a first-come first-served basis of the above items. A successful submittal of the required items will prevent unwanted delays in the inspection and CO release processes.

What we look for During the Record/As-Built Drawing Review and During the Inspection

1. The engineer's letter must contain the appropriate certification language. The suggested wording is located in the Code and in the specific conditions of the license. The letter must be signed and sealed. It is imperative that the engineer of record describe any minor modifications to the system that were made during the construction of the project. However, substantial modifications must have received prior approval by the Surface Water Licensing Program.
2. The as-built/record drawing must document the Finished Floor Elevation(s) showing substantial conformance with approved plans.
3. In addition to rim, manhole, and pipe invert elevations, the plans should contain a sufficient amount of survey information to show that the site grades and perimeter grades were constructed in substantial conformance with the approved plans.
4. If part of the approved system, lake and canal slope as-built plans should contain a substantial number of cross sections (a minimum of 1 section per 50 linear feet is preferred) to show compliance with the Department's slope criteria. The staff reserves the right to require additional slope cross sections as necessary as well as slope regrading. Surface area calculations at the control elevation should be submitted for lakes.
5. Control structure or overflow structure information must show all (as-built) dimensions and elevations.
6. All catch basin and manhole structures must have appropriate mudwork to prevent seepage that could lead to structure/asphalt failures and subsequent turbidity violations.
7. All catch basins, manholes, and pipes must be relatively free of sediment and debris and must be accessible to staff. Arrangements should be made with staff for inspecting basins that are covered with fabric materials for sediment control purposes. Fabric must be removed by the licensee or other appropriate personnel prior to the inspection.
8. Lake, canal, swale, dry detention/retention area slopes must be stabilized through appropriate measures, i.e, no evidence of erosion or sedimentation should be encountered during the inspection. Arrangements should be made with staff with regards to timeliness of sodding or seeding slopes and bottoms of dry detention/retention areas.
9. All baffle mechanisms must be made water tight at all contact surfaces of basin walls by a durable gasket device.

Successful compliance with the above items will insure a timely release of the Certificate(s) of Occupancy from division staff.

Upon completion of the field inspection, arrangements with inspection staff will be made to correct all observed field deficiencies. With your cooperation, the Operation Letter will be released upon correction of all field deficiencies.

Environmental Engineering and Permitting Division

Surface Water Management Program
1 North University Drive, Mailbox 201 • Plantation, Florida 33324
Phone 954-519-1483 FAX 954-519-1412

NOTICE OF RIGHTS

As required by Sections 120.569(1), and 120.60(3), Fla. Stat., following is notice of the opportunities which may be available for administrative hearing or judicial review when the substantial interests of a party are determined by an agency. Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

RIGHT TO REQUEST ADMINISTRATIVE HEARING

A person whose substantial interests are or may be affected by the Broward County Environmental Protection and Growth Management Department's (EPGMD, formerly known as Department of Planning and Environmental Protection or DPEP) action under the "Delegation Agreement Among the Florida Department of Environmental Protection, The South Florida Water Management District and Broward County" has the right to request an administrative hearing on that action pursuant to Sections 120.569 and 120.57, Fla. Stat. Persons seeking a hearing on an EPGMD decision which does or may determine their substantial interests shall file a petition for hearing with the EPGMD Environmental Compliance Administrator, within 21 days of receipt of written notice of the decision, unless the following shorter time period applies: within 14 days of service of an Administrative Order pursuant to Subsection 373.119(1), Fla. Stat. "Receipt of written notice of agency decision" means receipt of either written notice through mail, or electronic mail, or posting that the EPGMD has or intends to take final agency action, or publication of notice that the EPGMD has or intends to take final agency action. Any person who receives written notice of an EPGMD decision and fails to file a written request for hearing within the timeframe described above waives the right to request a hearing on that decision.

Filing Instructions

The Petition must be filed with the EPGMD Enforcement Administration Section's Environmental Compliance Administrator. Filings with the Environmental Compliance Administrator may be made by mail, hand-delivery or facsimile. **Filings by facsimile will not be accepted after October 1, 2014.** A petition for administrative hearing is deemed filed upon receipt during normal business hours by the Environmental Compliance Administrator, at the Broward County government offices in Plantation, Florida. Any document received by the EPGMD Enforcement Administration after 5:00 p.m. shall be filed as of 8:00 a.m. on the next regular business day. Additional filing instructions are as follows:

- Filings by mail must be addressed to the Environmental Compliance Administrator, Enforcement Administration Section, 1 N University Drive, Suite 307, Plantation, FL 33324.
- Filings by hand-delivery must be delivered to the EPGMD Enforcement Administration Section. **Delivery of a petition to the Broward County security desk does not constitute filing. To ensure proper filing, it will be necessary to request the Broward County security officer to contact the Environmental Compliance Administrator's office.** An employee of the Environmental Compliance Administrator's office will receive and file the petition.
- Filings by e-mail must be transmitted to the EPGMD Enforcement Administration Section at **epdhotline@broward.org**. The filing date for a document transmitted by electronic mail shall be the date the EPGMD Enforcement Administration Section receives the complete document. A party who files a document by e-mail shall (1) represent that the original physically signed document will be retained by that party for the duration of the proceeding and of any subsequent appeal or subsequent proceeding in that cause and that the party shall produce it upon the request of other parties; and (2) be responsible for any delay, disruption, or interruption of the electronic signals and accepts the full risk that the document may not be properly filed.

Initiation of an Administrative Hearing

Pursuant to Rules 28-106.201 and 28-106.301, Fla. Admin. Code, initiation of an administrative hearing shall be made by written petition to the EPGMD in legible form and on 8 and 1/2 by 11 inch white paper. All petitions shall contain:

1. Identification of the action being contested, including the permit number, application number, EPGMD file number or any other EPGMD identification number, if known.
2. The name, address and telephone number of the petitioner and petitioner's representative, if any.
3. An explanation of how the petitioner's substantial interests will be affected by the agency determination.
4. A statement of when and how the petitioner received notice of the EPGMD's decision.
5. A statement of all disputed issues of material fact. If there are none, the petition must so indicate.
6. A concise statement of the ultimate facts alleged, including the specific facts the petitioner contends warrant reversal or modification of the EPGMD's proposed action.
7. A statement of the specific rules or statutes the petitioner contends require reversal or modification of the EPGMD's proposed action.
8. If disputed issues of material fact exist, the statement must also include an explanation of how the alleged facts relate to the specific rules or statutes.
9. A statement of the relief sought by the petitioner, stating precisely the action the petitioner wishes the EPGMD to take with respect to the EPGMD's proposed action.

A person may file a request for an extension of time for filing a petition. The EPGMD may, for good cause, grant the request. Requests for extension of time must be filed with the EPGMD prior to the deadline for filing a petition for hearing. Such requests for extension shall contain a certificate that the moving party has consulted with all other parties concerning the extension and that the EPGMD and any other parties agree to or oppose the extension. A timely request for extension of time shall toll the running of the time period for filing a petition until the request is acted upon.

If the EPGMD takes action with substantially different impacts on water resources from the notice of intended agency decision, the persons who may be substantially affected shall have an additional point of entry pursuant to Rule 28-106.111, Fla. Admin. Code, unless otherwise provided by law.

Mediation

The procedures for pursuing mediation are set forth in Section 120.573, Fla. Stat., and Rules 28-106.111 and 28-106.401-.405, Fla. Admin. Code. The EPGMD is not proposing mediation for this agency action under Section 120.573, Fla. Stat., at this time.

RIGHT TO SEEK JUDICIAL REVIEW

Pursuant to Sections 120.60(3) and 120.68, Fla. Stat., a party who is adversely affected by final EPGMD action may seek judicial review of the EPGMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the Environmental Compliance Administrator within 30 days of rendering of the final EPGMD action.

SFWMD Special Conditions

1. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
2. Measures shall be taken during construction to insure that sedimentation and/or turbidity problems are not created in the receiving water.
3. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
4. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
5. The conditions outlined in the Broward County Specific Conditions section, except where language specifically relates to Broward County Code, are incorporated into these SFWMD Special Conditions.
6. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
7. Operation of the surface water management system shall be the responsibility of permittee.
8. All terms, conditions, and exhibits previously stipulated by SFWMD Permit # 06-00240-S-23, 06-00240-S, 06-00716-S-02, 06-00716-S will apply to this license unless specifically modified.
9. This permit expires on 10/27/2025.
10. If prehistoric or historic artifacts such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, the permitted project should cease all activities involving subsurface disturbance in the immediate vicinity of such discoveries. The Permittee or other designee should contact the Florida Department of State, Division of Historical Resources, Review and Compliance Section at 850-245-6333 or 800-847-7278, as well as the appropriate permitting agency office. Project activities should not resume without verbal and/or written authorization from the Division of Historical Resources.

In the event that unmarked human remains are encountered during permitted activities, all work shall stop immediately and the proper authorities notified in accordance with section 872.05, Florida Statutes.

Broward County General Conditions

1. The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and must be completed by the licensee and are enforceable by the Environmental Protection and Growth Management Department (EPGMD) pursuant to Chapter 27 of the Broward County Code of Ordinances. The EPGMD will review this license periodically and may revoke or suspend the license, and initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives.
2. This license is valid only for the specific uses set forth in the license application and any deviation from the approved uses may constitute grounds for revocation, suspension, and/or enforcement action by the EPGMD.
3. In the event the licensee is temporarily unable to comply with any of the conditions of the license or with this chapter, the licensee shall notify the EPGMD within eight (8) hours or as stated in the specific section of this chapter. Within three (3) working days of the event, the licensee shall submit a written report to EPGMD that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention regarding the repair, replacement and reconstruction of destroyed facilities and a schedule of events leading toward operation with the license condition.
4. The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
5. This license must be available for inspection on licensee's premises during the entire life of the license.
6. By accepting this license, the licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this licensed facility or activity, that are submitted to the EPGMD, may be used by the EPGMD as evidence in any enforcement proceeding arising under Chapter 27 of the Broward County Code of Ordinances, except where such use is prohibited by Section 403.111, Florida Statutes.
7. The licensee agrees to comply with Chapter 27 of the Broward County Code of Ordinances, and shall comply with all provisions of the most current version of this chapter, as amended.
8. Any new owner or operator of a licensed facility shall apply by letter for a transfer of license within thirty (30) days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license until the transferee applies for and is granted a transfer of license. The transferee shall be liable for any violation of Chapter 27 of the Broward County Code of Ordinances that results from the transferee's activities. The transferee shall comply with the transferor's original license conditions when the transferee has failed to obtain its own license.
9. The licensee, by acceptance of this license, specifically agrees to allow access and shall allow access to the licensed source, activity or facility at times by EPGMD personnel for the purposes of inspection and testing to determine compliance with this license and Chapter 27 of the Broward County Code of Ordinances.
10. This license does not constitute a waiver or approval of any other license, approval, or regulatory requirement by this or any other governmental agency that may be required.
11. Enforcement of the terms and provisions of this license shall be at the reasonable discretion of EPGMD, and any forbearance on behalf of EPGMD to exercise its rights hereunder in the event of any breach by the licensee, shall not be deemed or construed to be a waiver of EPGMD's rights hereunder.

Broward County Specific Conditions

1. The licensee shall allow authorized personnel of the Environmental Protection and Growth Management Department (EPGMD), municipality or local water control district to conduct such inspections at reasonable hours, as are necessary to determine compliance with the requirements of the license and the approved plans and specifications.
2. The responsible entity shall agree to maintain the operating efficiency of the water management works. Except in cases where the responsible entity is a governmental agency, the agreement shall further require that if the water management works is not adequately maintained, the County may undertake the required work and bill all associated costs to the responsible entity. If the payment for such obligations is not satisfied within 30 days, said obligation shall become a lien against the property associated with the water management works. Where ownership of the water management works is separate from property ownership, the EPGMD shall require these agreements to be recorded.
3. The licensee shall execute the work authorized in a manner so as to minimize any adverse impact of the works on fish, wildlife, natural environmental values, and water quality. The licensee shall institute necessary measures during the construction period, including fill compaction of any fill material placed around newly installed structures, to reduce erosion, turbidity, nutrient loading and sedimentation in the receiving waters. Any erosion, shoaling or deleterious discharges due to permitted actions will be corrected promptly at no expense to the County.
4. The licensee shall comply with all applicable local land use and subdivision regulations and other local requirements. In addition, the licensee shall obtain all necessary Federal, State, local and special district authorizations prior to the start of any construction alteration of works authorized by this license.
5. Off-site discharges during construction and development shall be made only through the facilities authorized by this license. Water discharged from the project shall be through structures having a mechanism for regulating upstream water stages. Stages may be subject to operating schedules satisfactory to the appropriate regulatory agency.
6. The licensee shall hold and save the County harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, operation, maintenance or use of any facility authorized by the license.
7. The license does not convey property rights nor any rights or privileges other than those specified therein.
8. No construction authorized by the license shall commence until a responsible entity acceptable to the EPGMD has been established and has agreed to operate and maintain the efficiency of the system. The entity must be provided with sufficient ownership so that it has control over all water management facilities authorized therein. Upon receipt of written evidence of the satisfaction of this condition, the EPGMD will issue authorization to commence the construction.
9. No beautification, or erection of any structure that will prohibit or limit access of maintenance equipment or vehicles in the right-of-way or easements will be allowed.
10. Any license which grants any entity the permission to place a structure on property which is owned by Broward County or upon which Broward County has an easement shall be construed to create a revocable license for that structure to remain on the property. Broward County may require removal of such a structure at no cost to the County.
11. The area under license will be maintained in a safe and operating condition at all times. Equipment will be promptly removed from the right-of-way or easement and the right-of-way or easement will be restored to its original or better condition within a reasonable time on termination of the authorized use.

12. The EPGMD will be notified, as required in the license or as indicated on the approved plans, to coordinate and schedule inspections.

13. The operation or construction will be in accordance with the approved details and plans submitted with the application. Any modification must be submitted to the EPGMD in writing and receive prior approval.

14. Monitoring may be required for sites with high pollutant generating potential, such as industrial sites, Class I and II solid waste disposal sites, and projects discharging to areas identified in the Broward County Resource Management Code, Article V, Section 27-200 (b) (1) o. Such monitoring will be under the cognizance of the EPGMD.

15. Upon completion of the construction of a surface water management system or phase thereof licensed by the EPGMD, it is a requirement of the issuance of the license, and hence transfer of operation and maintenance responsibility, that a Florida Registered Professional Engineer certify that the surface water management system was indeed constructed as licensed. Certified record drawings shall accompany the certification. Suggested wording for this is as follows:

I HEREBY CERTIFY TO THE CONSTRUCTION COMPLETION OF ALL THE COMPONENTS OF THE SURFACE WATER MANAGEMENT FACILITIES FOR THE ABOVE REFERENCES PROJECT AND THAT THEY HAVE BEEN CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE PLANS AND SPECIFICATIONS APPROVED BY THE BROWARD COUNTY EPGMD, AND HEREBY AFFIX MY SEAL THIS _____ DAY OF _____, 20____.

(SEAL)

16. Water management areas shall be legally reserved to the operation entity and for that purpose by dedication on the plat, deed restrictions, easements, etc., so that subsequent owners or others may not remove such areas from their intended use. Management areas, including maintenance easements, shall be connected to a public road or other location from which operation and maintenance access is legally and physically available.

17. The licensee shall notify the EPGMD in writing within twenty-four (24) hours of the start, finish, suspension, and/or abandonment of any construction or alteration of works authorized by this license.

18. A prorated share of surface water management retention/detention areas, sufficient to provide the required flood protection and water quality treatment, must be provided prior to occupancy of any building or residence.

19. The operation license shall be valid for a specific period of time not to exceed five (5) years from the date the license is transferred to the operation phase. The operation license shall be renewed in accordance with the Broward County Resource Management Code, Article V, Section 27 - 198 (d) (2).

20. The EPGMD reserves the right to require additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.

21. This permit does not constitute the approval required by the Broward County Hazardous Material Code, Article XII, Section 27-353(i), to conduct dewatering operations at or within one-quarter mile radius of a contaminated site. Please contact the Environmental Assessment and Remediation Section at (954) 519-1478 for further information.

22. The licensee shall keep a log of the operation and maintenance schedule for all components of the surface water management system.

23. The surface water management system must be inspected by the EPGMD to verify compliance with Specific Condition No. 15 of the license. In accordance with the Broward County Natural Resource Protection Code, Article I, Sec. 27-66 (f), the County agency or municipal agency charged with issuing a certificate of occupancy (CO) shall not issue a CO until notified of the Broward County EPGMD approval. Partial certifications will be handled in accordance with Specific Condition No. 18.

24. The licensee is advised that he/she is required to submit a Storm Water Notice of Intent (NOI) application at least 48 hours prior to the commencement of construction to the Florida Department of Environmental Protection, NPDES Stormwater Notices Center, MS #3585 at 2600 Blair Stone Road - Tallahassee, Florida 32399-2400.

25. All commercial parcel(s) must provide one half (1/2) inch of dry pre-treatment prior to discharging into the wet detention areas of the master drainage system where applicable.

26. Prior to commencement of construction, the Licensee shall provide a copy of the executed flowage/drainage easement agreement between all parties involved.

27. All special conditions, exhibits and other materials previously stipulated by license number SWM1992-046-0, SWM1993-012-0, SWM1993-012-3 and/or permit number 06-00240-S-23, 06-00240-S, 06-00716-S-02, 06-00716-S remain in effect unless otherwise revised and shall apply to this modification.

AQUATIC AND WETLAND RESOURCES PROGRAM:

GENERAL CONDITIONS FROM BROWARD COUNTY AQUATICS AND WETLANDS RESOURCE PROGRAM

1. The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and enforceable by Environmental Protection and Growth Management Department (EPGMD) pursuant to Chapter 27 of the Broward County Code of Ordinances. EPGMD will review this license periodically and may revoke the license, initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives or principals.
2. This license is valid only for the specific uses set forth in the license application, and any deviation from the approved uses may constitute grounds for revocation and enforcement action by EPGMD.
3. In the event the licensee is temporarily unable to comply with any of the conditions of the license, the licensee shall notify EPGMD within twelve (12) hours. Within five (5) working days of the event, the licensee shall submit a written report to EPGMD that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention toward repair, replacement, and reconstruction of destroyed facilities, and a schedule of action leading toward operation within the license conditions.
4. The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
5. This license must be available for inspection on the licensee's premises during the entire life of the license.
6. By accepting this license, the licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, that are submitted to EPGMD, may be used by EPGMD as evidence in any enforcement proceeding arising under Chapter 27 of the Broward County Code of Ordinances, except where such use is prohibited by § 403.111, F.S.
7. The licensee agrees to comply with Chapter 27 of the Broward County Code of Ordinances, as amended.
8. Any new owner of a licensed facility shall apply by letter for a transfer of license within thirty (30) days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license until the transferee applies for, and is granted the transfer of license. The transferee shall also be liable for performance in accordance with the license.
9. The licensee, by acceptance of this license, specifically agrees to allow access to the licensed source at reasonable times by EPGMD personnel for the purposes of inspection and testing to determine compliance with this license and this Chapter 27 of the Broward County Code of Ordinances.
10. This license does not constitute a waiver or approval of any other license that may be required for other aspects of the total project.
11. If the licensee wishes to renew a license or extend its term, the licensee shall make application sixty (60) days prior to its expiration. Expired licenses are not renewable.
12. In addition to the general conditions set forth above, each license issued by EPGMD shall contain specific conditions determined by site conditions and requirements pursuant to the regulations as determined by the director of EPGMD. The licensee agrees that specific conditions are enforceable by EPGMD for any violation thereof.
13. Enforcement of the terms and provisions of this license shall be at the reasonable discretion of EPGMD, and any forbearance on behalf of EPGMD to exercise its rights hereunder in the event of any breach by the licensee, shall not be deemed or construed to be a waiver of EPGMD's rights hereunder.

SPECIFIC CONDITIONS FROM BROWARD COUNTY AQUATICS AND WETLANDS RESOURCE PROGRAM

A. STANDARD CONDITIONS

1. **Notify the Department in writing a minimum of 48 hours prior to project commencement and a maximum of 48 hours after project completion.** Commencement notification should include such information as the intended start date, estimated duration of construction, and the name and contact information of the firm contracted to do the work. Failure to comply with this condition may result in enforcement action.
2. Any project caused environmental problem(s) shall be reported immediately to the Department's Environmental Response Line at 954-519-1499.
3. All project generated solid waste and/or spoil material must be disposed of in a suitable approved manner in accordance with current regulations at an upland location (not including surface waters and wetlands).
4. Turbidity screens, silt fences, or equivalent shall be properly employed and maintained as necessary to effectively contain suspended sediments and/or runoff during construction activities. Dredging, filling, excavation, seawall removal, seawall construction, and other projects which result in similar degrees of disturbance to wet sediments shall in all cases employ turbidity control measures designed to effectively enclose the entire work area.
5. Turbidity levels shall be monitored and recorded if a visible turbidity plume is observed leaving the site during construction activities. If monitoring reveals that turbidity levels exceed 29 NTU's above natural background 50 feet downstream of the point of discharge, project activities shall immediately cease, and work shall not resume until turbidity levels drop to within these limits [62-302.530(69) FAC].
6. Only clean fill shall be placed in the water bodies being filled. Any fill material used shall be free of garbage, rubbish, refuse, asphalt, hazardous materials, organic matter such [as] wood, lumber, tree or tree trimmings, or other contaminants. The disposal of any putrescible or deleterious debris in any water body is prohibited.

B. CONSTRUCTION CONDITIONS

1. If the approved license drawings and/or license attachments/plans conflict with the specific conditions, then the specific conditions shall prevail.
2. Demolition and construction related debris must be disposed of at an approved upland location and may not be left in the wetlands or any surface waters.
3. This license does not eliminate the necessity to obtain any required federal, state, local or special district authorizations prior to the start of any activity approved by this license.

C. TURBIDITY CONDITIONS

1. The contractor shall be responsible to have functional turbidity monitoring equipment on site during all construction activities and shall be responsible for training construction personnel in its calibration, operation, and related license requirements.
2. If a visible turbidity plume is observed leaving the site at any time, the licensee shall:
 - (a) Immediately cease all work contributing to the water quality violation. Operations may not resume until the Department gives authorization to do so.

- (b) Notify the EPGMD immediately at (954) 519-1499, referencing the license number and project name.
 - (c) Stabilize all exposed material contributing to the water quality violation. Modify the work procedures that were responsible for the violation and install more turbidity containment devices and/or repair any non-functioning turbidity containment devices.
3. Connected turbidity curtain segments shall be overlapped and tied at the top and bottom so as to prevent turbidity from escaping through gaps between segments.
 4. Turbidity curtains shall be deployed to effectively encapsulate the work area without impeding flow.

D. LAKES

1. Grass seed or sod, shall be installed and maintained on all disturbed areas within 48 hours of completing final grade, and at other times, as necessary, to prevent erosion, sedimentation or turbid discharges into receiving waters and/or adjacent wetlands.
2. Lake banks shall have a minimum slope of one (1) foot vertical to every four (4) feet horizontal between the ordinary high-water line to two (2) feet below the average dry season low water table as demonstrated by water management district or county maps.

E. COMPENSATORY MITIGATION CONDITIONS (ON-SITE)

1. Construction and installation of the Areas shall be in accordance with plans dated 2/4/2011 by the Department (attached) and associated information.
2. **Construction of the mitigation area shall be concurrent with impacts to the jurisdictional wetland areas.**
3. The following steps must be taken prior to submittal of the Time-Zero monitoring report:
 - a. Upon completion of the mitigation earthwork, the Licensee shall submit an as-built survey providing a Florida registered surveyor's certification of elevations in relation to design and surveyor verification of actual acreage for all licensed mitigation habitats.
 - b. Plant installation shall not begin until after the Department has approved the as-built survey.
 - c. The source for the plants and muck (a minimum of 12-inches of muck required) for the wetland area shall be submitted prior to commencement of work.
 - d. Plant substitutions or planting plan alterations must be approved by the Department prior to installation.
 - e. If there are conflicts with any other agency regarding the mitigation area, notify Brandon Justice immediately at 954-519-1228 or at BJustice@broward.org.
4. Once condition E.3. has been approved a Time-Zero monitoring report may be submitted via ePermits or to AWRlicense@broward.org. The Time Zero report is required within 30 days earthwork approval and prior to any Certificate of Occupancy being issued for any structure on the site.
5. A viable wetland system shall be established that replicates a natural reference wetland in basic structure and function. In order to assure that the Area(s) become self-sustaining, the following criteria shall be met:
 - a. A minimum of 80% coverage by desirable wetland species after a two (2) year period and demonstration of persistence for three (3) additional years.
 - b. Less than 2% coverage by invasive exotic and undesirable species is allowable if plants are dispersed and not concentrated in any area. Exotic and undesirable species include, but are not limited to, Melaleuca, Australian pine, Brazilian pepper, Bischofia, torpedo grass, primrose willow, cattail, air potato, and Syngonium. Treatment efforts should be tailored to prevent these species from becoming reproductively mature.

- c. A minimum of 80% survival of each planted species shall be maintained each quarter. An exception to this condition may be allowed where species composition, density of planted and recruitment species, the overall wetland condition, as characterized by the growth rates and viability of the Areas are of higher quality, as determined by the Department.
 - d. Hydrologic conditions and soil characteristics are in general conformity to those specified in plans. Data from the permanent surveyed staff gauges must be collected every two weeks and submitted with the quarterly monitoring reports.
 - e. Any preserved or planted species shall be maintained as to exhibit new growth and/or propagation, viability, and overall health.
6. The Area(s) shall be monitored, and reports submitted quarterly for five (5) years describing in detail the condition of the Areas relative to the reference wetland and the criteria listed above (C. 4.a-e).
 7. Should the Department determine that the Areas are not achieving the listed criteria during some portion of the monitoring period, the licensee shall determine the reasons for failure and prepare plans that demonstrate clearly how the problem(s) will be corrected and submit such plans immediately to the Department for approval. Those plans shall be implemented within 30 days from the Departments written approval.
 8. Introduction (direct or indirect) of Grass Carp (*Ctenopharyngodon idella*) is strictly prohibited. The Licensee shall properly employ and maintain Grass Carp exclusion devices as necessary to prevent entry into the area.
 9. Permanent physical markers designating the preserve status of the wetland conservation area and buffer zones shall be placed around the entire perimeter of the mitigation area a maximum 100 feet apart. The markers shall be maintained in perpetuity.
 10. The licensee shall be responsible for the successful completion of the mitigation work, including the monitoring and maintenance of the mitigation areas for the duration of the plan. The mitigation area shall not be turned over to another entity until the mitigation work is accomplished as licensed and staff has approved the Time Zero mitigation report.
 11. Spoil generated from the excavation authorized by this license must be used on-site or placed in off-site uplands and contained in such a manner as to prevent erosion into wetlands or other surface waters.
 12. The licensee shall provide any future purchaser(s) of this site with a copy of this license.
 13. The Department must be notified of any change of consultant/contractor during the construction and mitigation monitoring phases of this project.
 14. The conservation area shall be the perpetual responsibility of the licensee and may in no way be altered from its natural or licensed state as documented herein, with the exception of its normal maintenance.

F. CONSERVATION EASEMENT/FINANCIAL ASSURANCE

1. **Prior to any wetland impacts**, the conservation easement must be approved by the county attorney and a financial assurance document covering the construction, planting, mitigation monitoring and maintenance costs shall be provided to the County. The licensee will be notified when the documents have been accepted by the County Attorney and work may proceed.
 2. An executed Joint Conservation Easement has been submitted by the applicant and has been sent to the County Attorney's office. Once approved, the Conservation Easement and a copy of this license will be recorded in the public records of the County. It is the Licensee's responsibility to pay the recording costs. A check made payable to the "Board of County Commissioners" shall be submitted to the Department within fifteen (15) days of receipt of the notice of recording costs.
 3. The conservation area shall be the perpetual responsibility of the underlying landowner and may in no way be altered from their natural or licensed state as documented in this license, with the exception of restoration activities. Activities prohibited within the conservation area(s) include, but are not limited to: construction or placement of soil or other substances such as trash; removal or destruction of trees, shrubs or other vegetation (with the exception of exotic/nuisance vegetation) removal; excavation, dredging, or removal of soil material; diking or fencing; and any other activities detrimental to drainage, flood control, water conservation, erosion control or fish and wildlife habitat conservation or preservation.
 4. The licensee has provided a Joint Letter of Credit to Broward County EPGMD and SFWMD as financial assurance for this project. The Financial Assurance(s) include(s) construction, monitoring and maintenance costs with a 10% contingency for the total sum of \$89,705.00. After the time zero event and upon EPGMD review and approval of all information required in Specific Condition E.4, the licensee may request release of 35% of the total financial assurance. After two years of monitoring and maintenance and upon EPGMD review and approval, the licensee may request an additional 15% of the financial assurance. At the end of the five year maintenance and monitoring period and upon demonstration that the licensee has met the intent and all information requested in Specific Condition E.4 and E.5, and if necessary E.6., the licensee may request the release of the remaining financial assurance. All requests shall be made in writing to the Natural Resources Section of the Environmental Protection and Growth Management Department. The Licensee is advised that the financial assurance document must remain active until it is released by the Department and no portion of the Financial Assurance will be released by the Department until the Conservation Easement has been recorded.
- G. A COPY OF THIS LICENSE SHALL BE KEPT ON SITE DURING ALL PHASES OF LICENSED CONSTRUCTION.**

LOCATION MAP



950 475 0 950 Feet

EXHIBIT - 1

NW 26TH PL
BCPA, BCGIS

STAFF REPORT

Project Name: Sunrise City Hall Enabling Package
Permit Number: 06-00240-S **License Number:** SWM1993-012-5, DF20-1011
Application Number: 190801-60 **Concurrent Application:** L2019-176
Application Type: Surface Water Management Modification (MSSW)
Location: Broward County **Section-Township-Range:** 19-49-41
Permittee's Name: City of Sunrise

Project Area: 39.34 acres **Drainage Area:** 39.34 acres
Project Land Use: Commercial
Drainage Basin: C-13
Receiving Body: Existing System

Purpose:

The modification of SFWMD Permits # 06-00240-S-23, 06-00240-S, 06-00716-S-02, 06-00716-S, and Broward County Surface Water Management Licenses No. SWM1992-046-0, SWM1993-012-0, SWM1993-012-3, and SWM1993-012-4 for the construction and operation of a surface water management system to serve a proposed 39.34 acre commercial redevelopment known as Municipal Complex Civic Center & City Hall.

Project Evaluation:

Project Site Description:

The site is presently developed containing 15.86 acres of paved area and 4.87 acres of building area and a surface water management system that does not provide water quality treatment of storm runoff. The site is located on the SE corner of Oakland Park Blvd and Josh Lee Boulevard in the City of Sunrise.

Proposed Project Design:

The proposed construction will include 0.86 acres of lake expansion area (for a total of 4.06 acres) and the proposed drainage system. A system of swales, inlets and culverts will direct the storm runoff to 4.06 acres of wet detention area and 1.34 acres of existing/proposed dry detention areas for water quality treatment and storm runoff attenuation prior to discharge into the existing City of Sunrise Master System. The discharge will be directed through an existing control structure consisting of a 2 ft wide weir with a crest at elevation 5.14' NAVD and a V-notch bleeder with an invert at elevation 3.99' NAVD.

Full modification(s) to this license will be required for future development areas. The applicant's consultant has demonstrated through calculations that the proposed improvements will not cause adverse water quantity impacts.

The applicant's consultant has demonstrated through plans and calculations that proposed project meets the permitted requirements of SFWMD Permit # 06-00240-S, 06-00716-S and/or Broward County License SWM1992-046-0, SWM1993-012-0, SWM1993-012-3, and SWM1993-012-4.

Control Elevation = 4.0 ft, NAVD WSWT Control Elevation = 4.0 ft, NAVD
Method of Determination = Master Permit

Project Background:

Upon completion and final certification, this modification will supersede License No. SWM1992-046-0, SWM1993-012-0, SWM1993-012-3, and SWM1993-012-4. All terms, conditions, and exhibits previously stipulated by SFWMD Permit # 06-100240-S-23, 06-100240-S, 06-00716-S-02, 06-00716-S, and Broward County Surface Water Management Licenses No. SWM1992-046-0, SWM1993-012-0, SWM1993-012-3, and SWM1993-012-4 will apply to this license unless specifically modified.

Discharge Rate:

<u>Frequency</u>	<u>Rainfall</u>	<u>Basin Name</u>	<u>Allowable Disch.</u>	<u>Method of Determination</u>	<u>Peak Disch.</u>	<u>Peak Stage</u>
25YR-3DAY	13.4 in.	Sunrise City Hall Enabling	21 cfs	Pre-vs-Post	19.3 cfs	6.9' NAVD

Finished Floors:

There are no proposed buildings as part of this approval.

<u>Frequency</u>	<u>Rainfall</u>	<u>Basin Name</u>	<u>Peak Stage</u>	<u>Prop. Min. Fin. Floors</u>	<u>BC 100-yr Map Elev.</u>
100YR-3DAY	17.5 inches	Sunrise City Hall Enabling	8.1' NAVD	N/A	9' NAVD

Water Quality Design:

Water quality treatment will be provided in the dry detention and lake areas for 2.5 inches times the percent impervious over the entire site.

<u>Basin Name</u>	<u>Treatment Type</u>	<u>Treatment Method</u>	<u>Volume Required</u>	<u>Volume Provided</u>
Sunrise City Hall Enabling P: Treatment		Dry Detention	3.58 ac-ft	1.64 ac-ft
Sunrise City Hall Enabling P: Treatment		Wet Detention	3.58 ac-ft	1.94 ac-ft
			Total: 3.58 ac-ft	

Environmental Summary:

Wetlands and Other Surface Waters

This project involves the construction of a 39.34-acre municipal development and associated surface water management system. Currently, the site contains 35.87 acres of uplands, 0.3-acre wetland mitigation area, and 3.17 acres of existing surface waters. The following regulated activities are proposed during construction of the aforementioned development: (1) the filling of an 0.3 acre wetland mitigation area with approximately 3,507 cubic yards of fill; (2) the creation of a 0.45 acre wetland mitigation area, removing approximately 1,467 cubic yards of fill; (3) the creation of one 0.12 acre lake with two endwalls; and (4) the reconfiguration/expansion of an existing lake to a 2.19 acre lake, including three endwalls and the installation of one boat ramp. Approximately 11,224 cubic yards of material shall be removed and transported to an upland disposal site or used on site. The proposed mitigation is located within the same basin as the impacts, therefore pursuant to Section 10.2.8 of Volume I, the project will not result in unacceptable cumulative impacts to the New River Drainage Basin.

Unavoidable impacts to the 0.3-acre wetland mitigation area (DF93-1025) shall be offset through the creation of a 0.45 acre of on-site mitigation area, to be encumbered by a conservation easement. The amount of required mitigation was determined using the Uniform Mitigation Assessment Method in Chapter 62-345, F.A.C.

Fish, Wildlife, and Listed Species

The wetlands or surface waters to be impacted provide habitat for wetland-dependent species. The proposed mitigation will provide or improve habitat for wetland-dependent and aquatic species. No aquatic or wetland-dependent listed species or species having special protection were observed to be using the uplands within the project for nesting or denning.

This permit does not relieve the applicant from complying with all applicable rules and any other agencies' requirements if, in the future, endangered/threatened species or species of special concern are discovered on the site.

Special Concerns:

Operating Entity: City of Sunrise
Attention: Alan Gavazzi, Capital Projects Director
777 Sawgrass Corporate Parkway
Sunrise, FL 33325

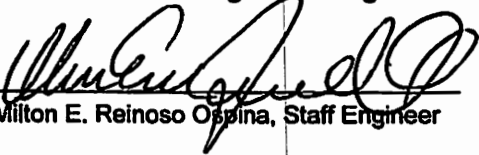
Waste Water System/Supplier: Sunrise

STAFF RECOMMENDATION:

South Florida Water Management District and Broward County rules have been adhered to and an Individual Permit should be granted.

DF20-1011; STAFF REVIEW:

Surface Water Management Program:


Milton E. Reinoso Ospina, Staff Engineer

**JOHANA
NARVAEZ**

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JOHANA NARVAEZ
Date: 2020.10.27
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Johana Narvaez, M.S., Environmental Program Manager

Aquatic and Wetland Resources Program:

**Michelle
Decker**
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Michelle Decker
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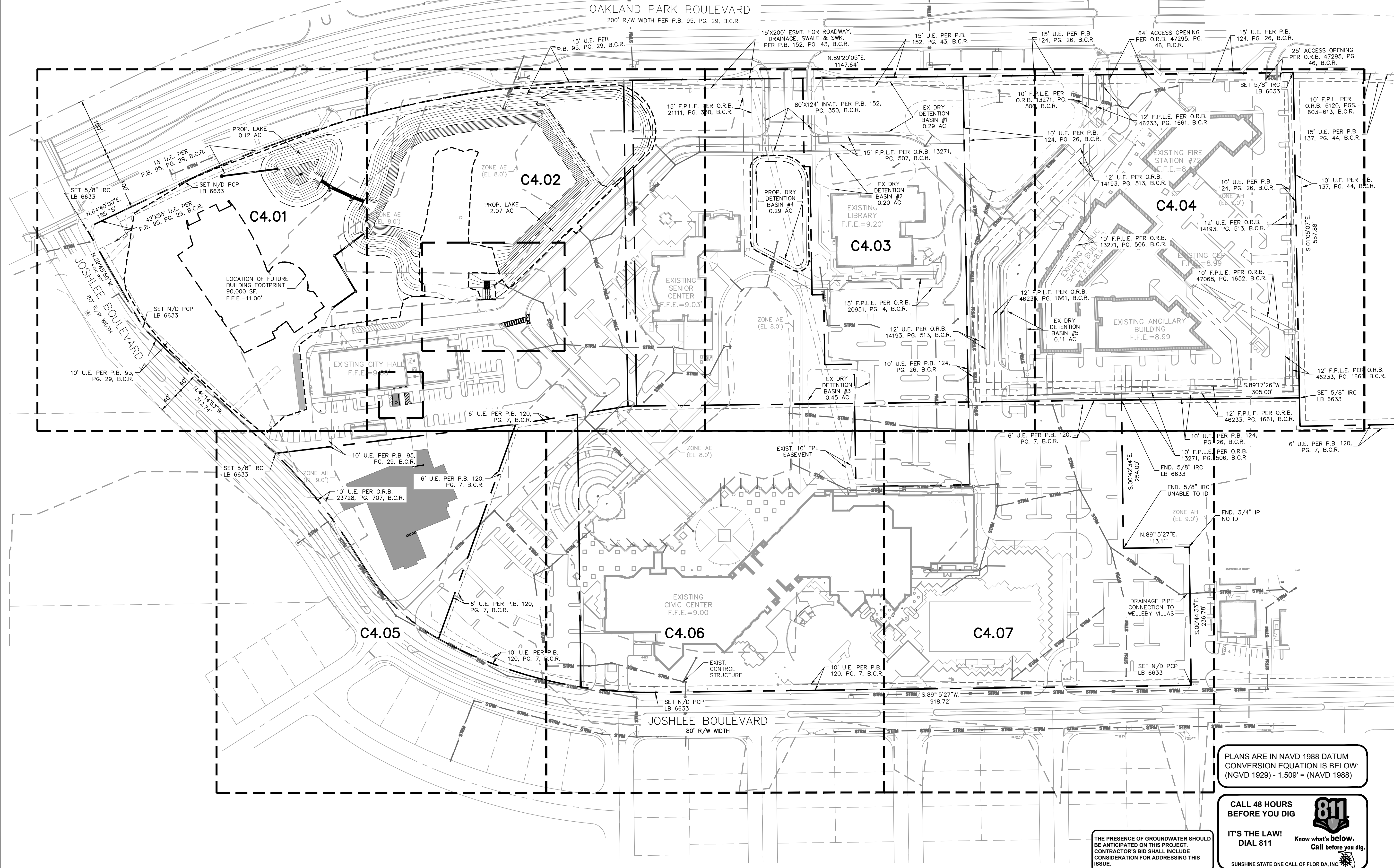
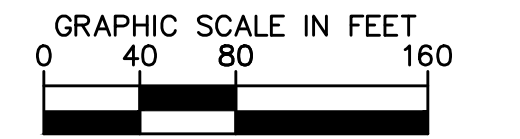
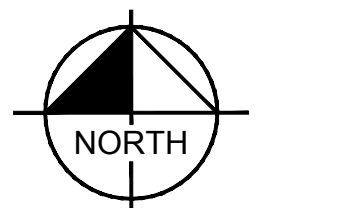
Michelle Decker

**Michelle
Decker**

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Linda Sunderland, Manager

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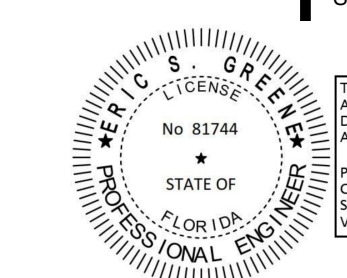
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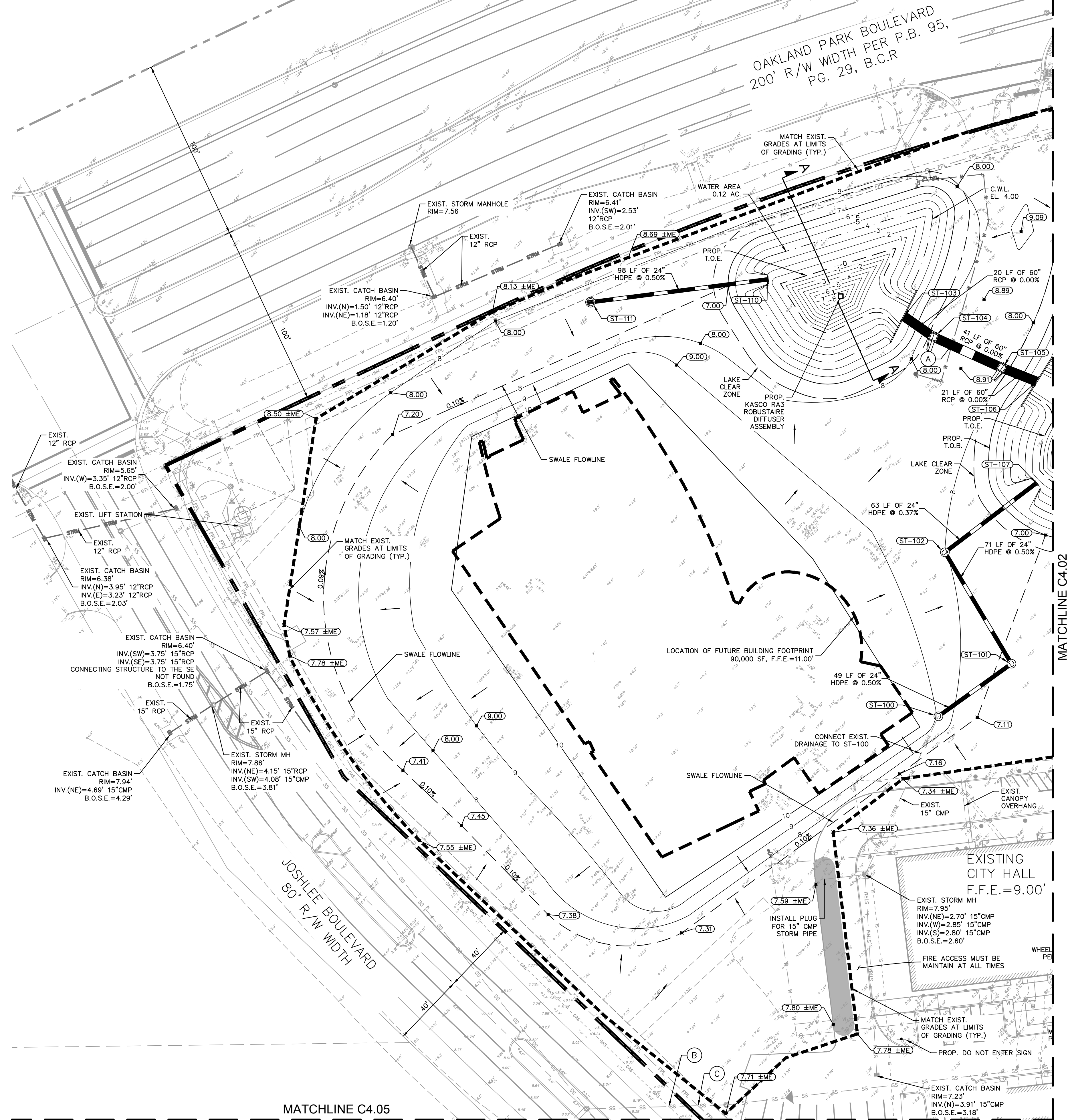
SUNRISE CITY HALL - ENABLING PACKAGE
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SUNRISE, FL 33351

OVERALL PAVING
GRADING AND
DRAINAGE PLAN



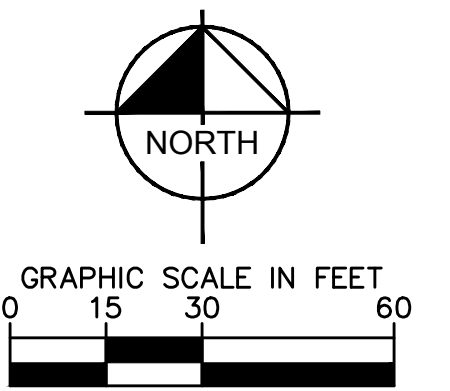
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DATE: 10/26/2020

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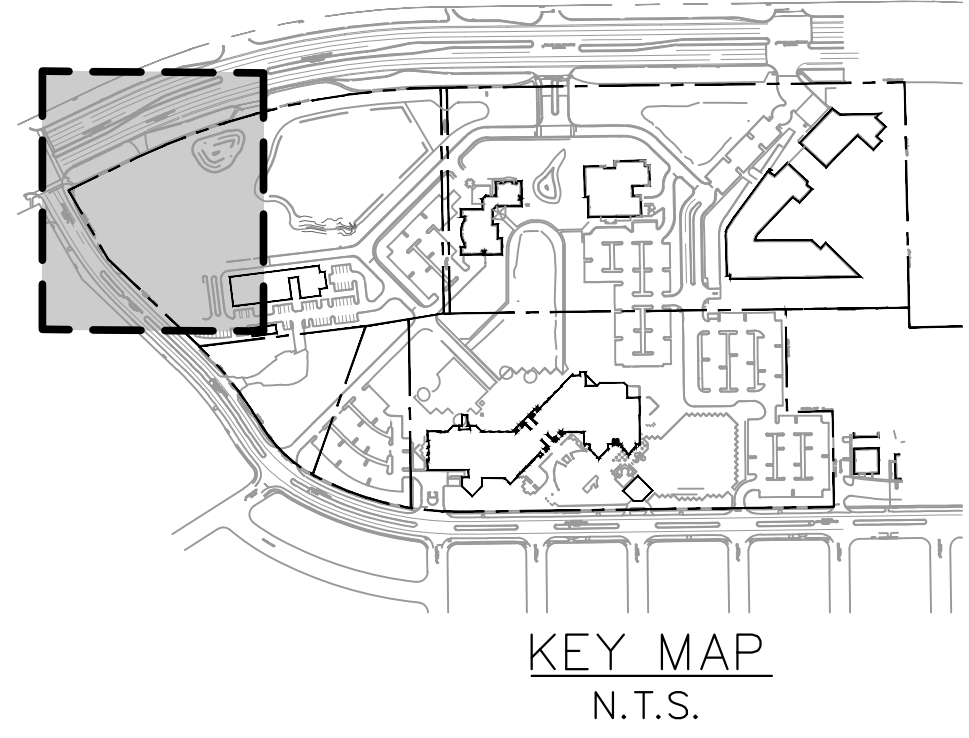
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- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- EXISTING CONTOUR ELEVATIONS
- PROPOSED CONTOUR ELEVATIONS
- EXISTING ELEVATION
- PROPOSED ELEVATION
- LIMITS OF GRADING
- CURB RAMP PER FDOT INDEX #522-002, TYPE SHOWN
- TEMPORARY ASPHALT



PAVING, GRADING AND DRAINAGE NOTES

- DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING U.S. PRECAST (USP), U.S. FOUNDRY (USF), OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD (FDOT) PRODUCTS AS SPECIFIED, OR APPROVED EQUAL.
- ALL STORM STRUCTURES SHALL HAVE A MINIMUM 18" SUMP.
- ALL STORM PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) OR HIGH DENSITY POLY-ETHYLENE (HDPE) PIPE.
- ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURES UNLESS OTHERWISE NOTED.
- THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0% THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0% THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 12:1 (8.3%).
- PROPOSED ELEVATIONS IN ALL PERVIOUS AREAS REPRESENT FINISHED TOP OF SOIL/GRASS OR ANY OTHER LANDSCAPING MATERIAL.
- CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
- CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW DRAINAGE STRUCTURES AND PIPES.
- CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
- ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
- CONTRACTOR SHALL CLEAN ALL PROPOSED DRAINAGE STRUCTURES AND PIPES UPON COMPLETION OF CONSTRUCTION.
- ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL SECTIONS WITHIN THE DRAWINGS.
- THE CONTRACTOR SHALL GRADE THE SITE TO THE INDICATED ELEVATIONS AND SHALL RE-GRADE WASHOUTS AS THEY OCCUR AFTER RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
- LANDSCAPE ISLANDS IN PARKING AREAS ARE TO BE BERMED 18" ABOVE BACK OF CURB ELEVATION.
- EXISTING STORM DRAIN SYSTEM TO REMAIN OPERATIONAL UNTIL NEW STORM DRAIN SYSTEM IS COMPLETE.
- A TACK COAT SHALL BE USED BETWEEN PAVING COURSES, AND A PRIME COAT SHALL BE USED ON THE FINISHED ROCK BASE. ONLY VIRGIN MATERIALS MAY BE USED IN WEARING COURSES UNLESS OTHERWISE APPROVED IN WRITING. RECYCLED ASPHALT USED IN THE ROAD MIX SHALL NOT EXCEED 10%.
- CURB PAD - LIMEROCK FOUNDATION OR "PAD" WITH A MINIMUM LBR OF 100 AND MINIMUM CARBONATE CONTENT OF 70% PADS SHALL BE AT LEAST FOUR (4) INCHES THICK, EXPANDING SIX (6) INCHES (MIN.) BEYOND THE EDGES OF THE CONCRETE COMPACTED TO 98% OF MAXIMUM DENSITY PER ASTM D 1557.
- ANY SIGNS OR PAVEMENT MARKINGS THAT HAVE BEEN DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED IN ACCORDANCE WITH TRAFFIC ENGINEERING STANDARDS AND SPECIFICATIONS.
- ALL PVC PIPE SHALL BE SDR 26 WITH SAND COLLAR.
- EXISTING DRAINAGE SYSTEM TO REMAIN WITHIN PROJECT AREA AND SHALL BE CLEANED PRIOR TO FINAL SITE APPROVAL.
- EXISTING DRAINAGE SYSTEM TO BE CLEANED IN ITS ENTIRETY PRIOR TO FINAL SITE APPROVAL.
- EXISTING VALVES AND MANHOLES TO BE ADJUSTED TO CITY STANDARDS.
- CROSSWALK STRIPING SHALL BE THERMOPLASTIC. ALL OTHER STRIPING SHALL BE PAINT.
- PRBS SHALL BE A MINIMUM OF 2- FEET FROM OPPOSITE WALL OF STRUCTURE, FROM OBSTRUCTION, OR ANOTHER PRB.
- CONTRACTOR TO CLEAN ALL DRAINAGE STRUCTURES AND PIPING WITHIN ONE MANHOLE UPSTREAM AND DOWNSTREAM OF ALL DRAINAGE CONSTRUCTION ACTIVITY.

STRUCTURE TABLE	
STRUCTURE:	DETAILS:
ST-100	TYPE P MANHOLE RIM: 10.85 INV.: 2.58 (NE) INV.: 2.58 (SW) EXIST.
ST-101	TYPE P MANHOLE RIM: 10.57 INV.: 2.33 (SW) INV.: 2.33 (NW) INV.: 2.33 (SE) PLUG FOR FUTURE CITY HALL CONNECTION
ST-102	TYPE P MANHOLE RIM: 9.51 INV.: 1.98 (SE) INV.: 1.98 (NE) PRB
ST-103	STRAIGHT CONCRETE ENDWALL TOP: 5.00 INV.: -1.67 (SE)
ST-104	TYPE 5 INLET WITH TYPE J BOTTOM RIM: 8.69 INV.: -1.67 (NW) PRB INV.: -1.67 (SE)
ST-105	TYPE 5 INLET WITH TYPE J BOTTOM RIM: 8.70 INV.: -1.67 (NW) INV.: -1.67 (E) PRB
ST-106	STRAIGHT CONCRETE ENDWALL TOP: 5.00 INV.: -1.67 (W)
ST-107	STRAIGHT CONCRETE ENDWALL TOP: 5.00 INV.: 1.75 (SW)
ST-110	STRAIGHT CONCRETE ENDWALL TOP: 5.00 INV.: 1.75 (W)
ST-111	TYPE P INLET WITH CONCRETE APRON PER CITY DETAIL D-18 RIM: 7.60 INV.: 2.24 (E) PRB INV.: 2.24 (SW) PLUG FOR FUTURE CITY HALL CONNECTION



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SEE SHEET C5.01 FOR UTILITY CROSSING INFORMATION

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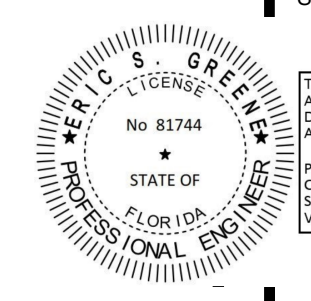
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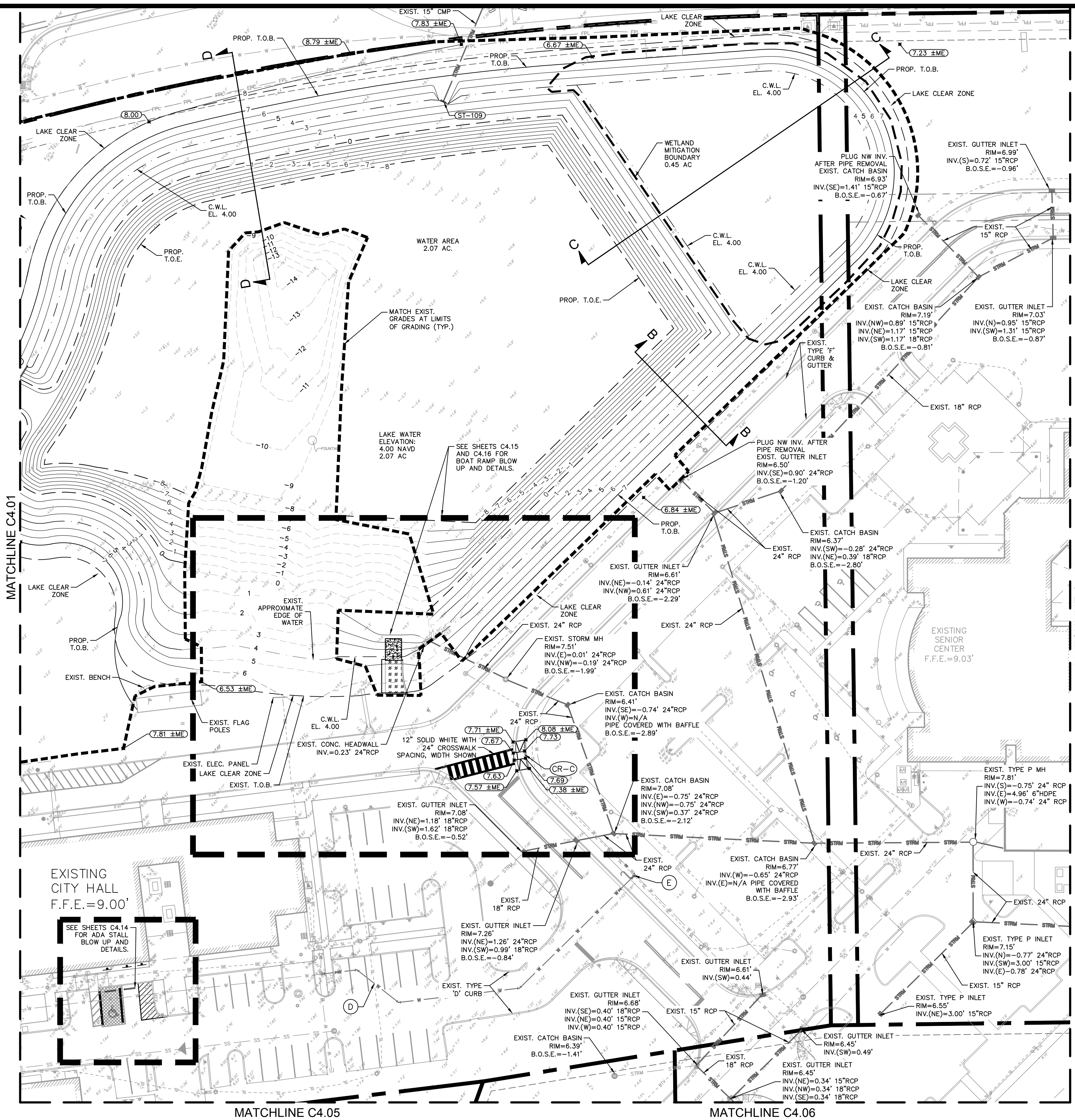
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SUNRISE, FL 33351

PAVING GRADING AND DRAINAGE PLAN



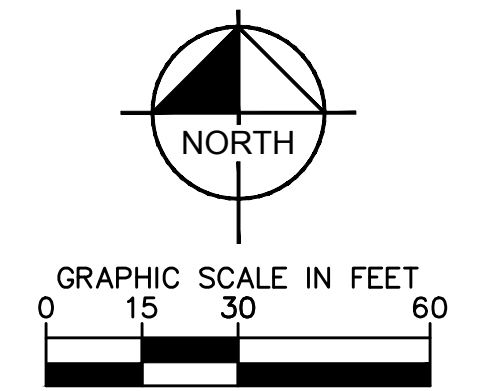
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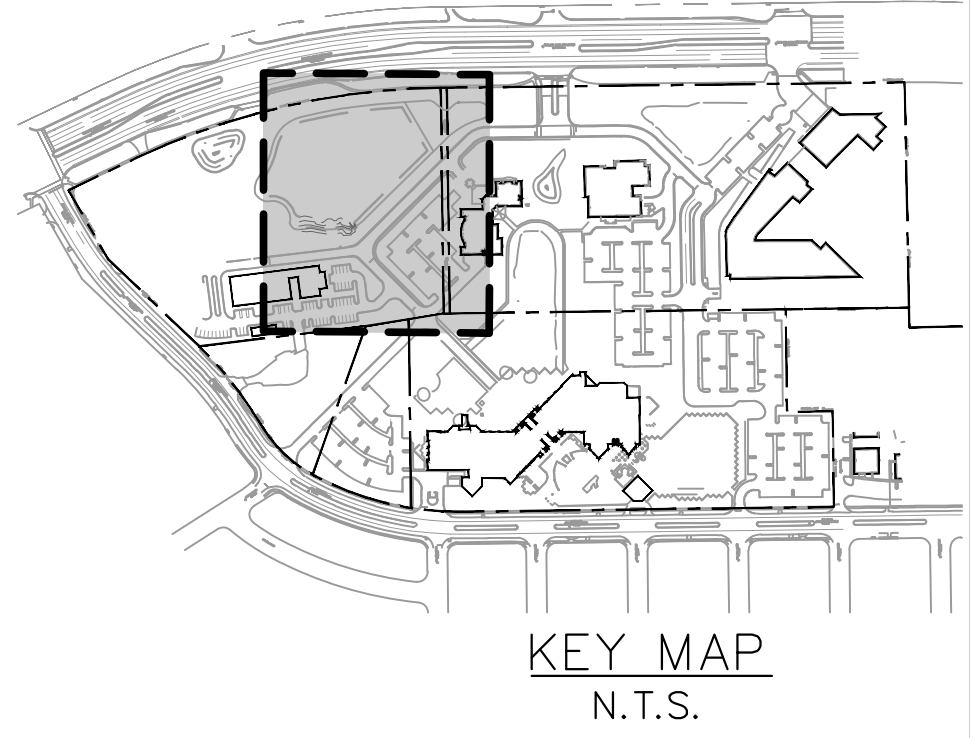
- PROPERTY LINE
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- PROPOSED CONTOUR ELEVATIONS
- EXISTING ELEVATION
- PROPOSED ELEVATION
- LIMITS OF GRADING
- CURB RAMP PER FDOT INDEX #522-002, TYPE SHOWN
- TEMPORARY ASPHALT



STRUCTURE TABLE	
STRUCTURE:	DETAILS:
ST-109	STRAIGHT CONCRETE ENDWALL TOP: 6.33 INV.: 3.83 (NE)

PAVING, GRADING AND DRAINAGE NOTES

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SEE SHEET C5.02 FOR UTILITY CROSSING INFORMATION

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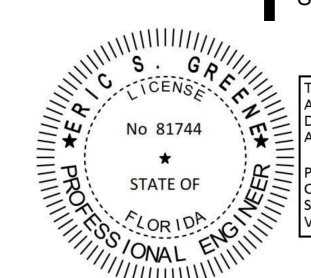
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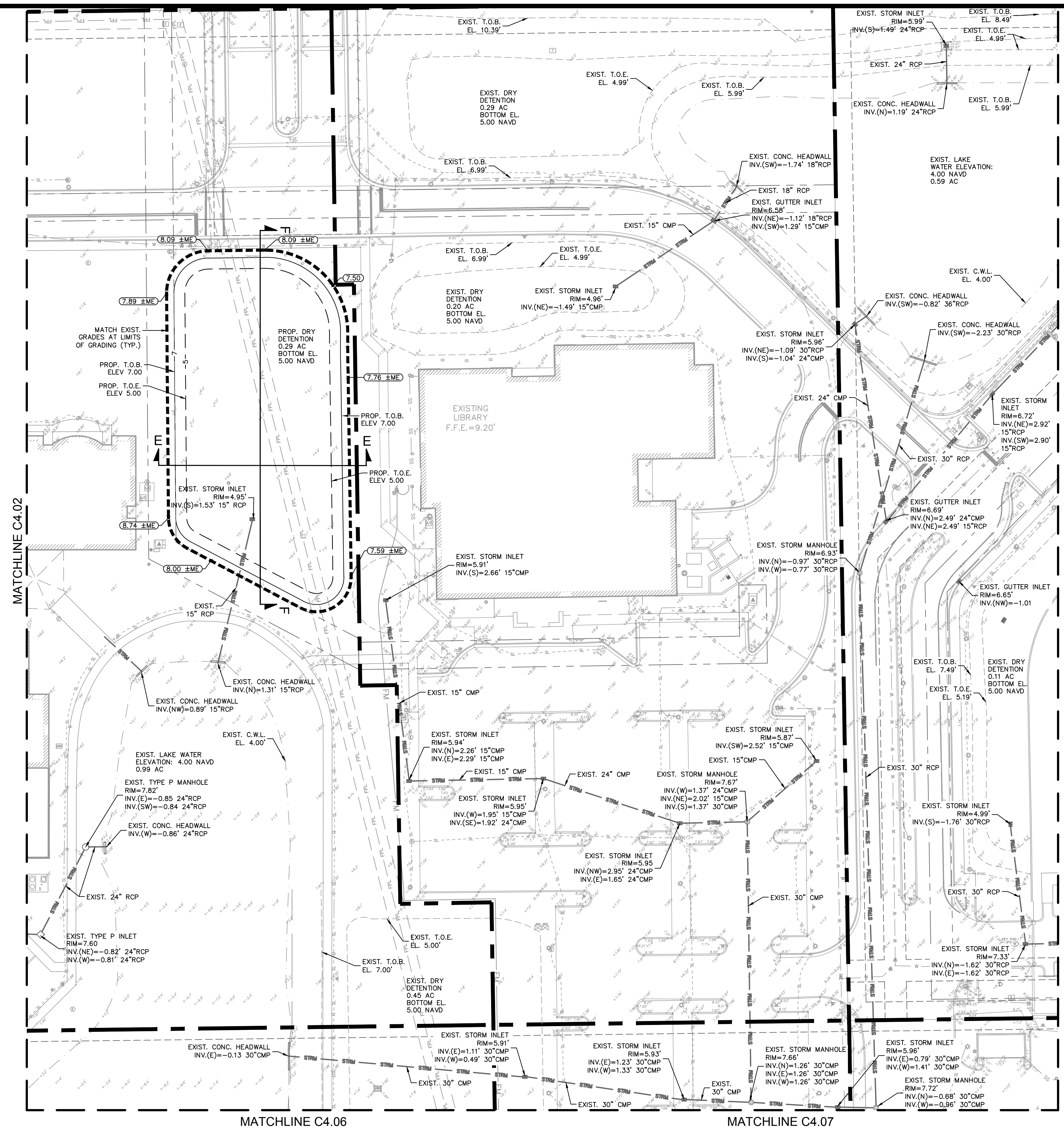
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SUNRISE, FL 33351

PAVING GRADING AND DRAINAGE PLAN



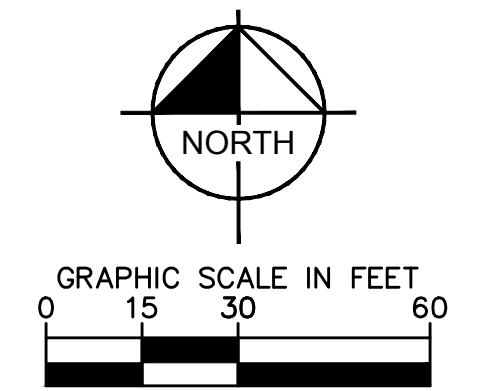
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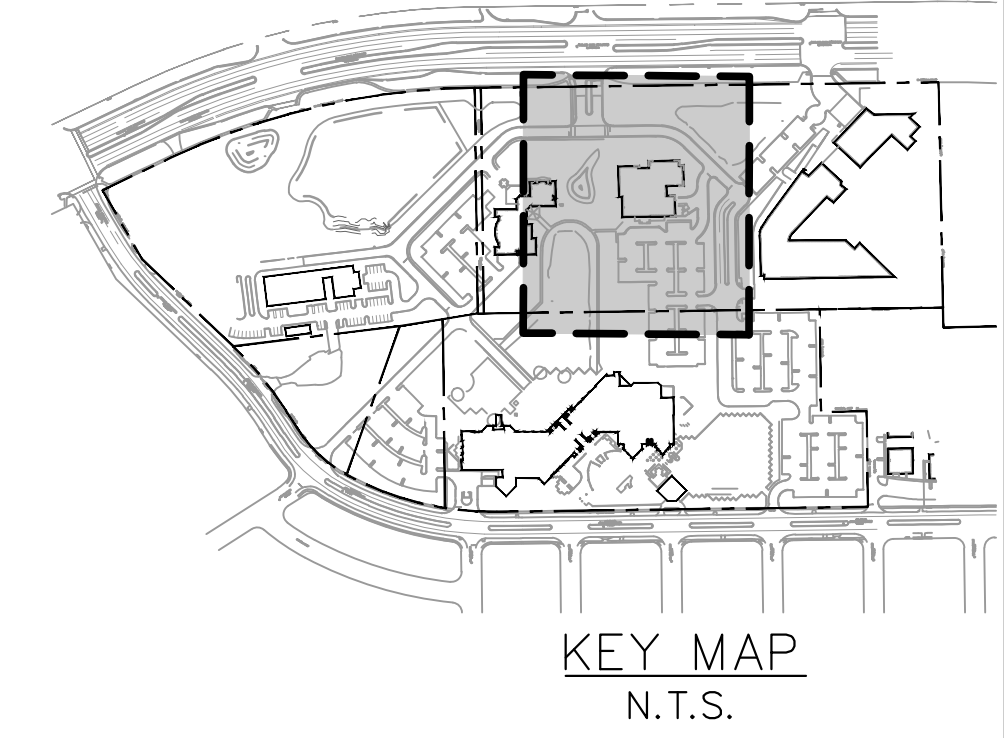
LEGEND

- PROPERTY LINE
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- EXISTING CONTOUR ELEVATIONS
- PROPOSED CONTOUR ELEVATIONS
- EXISTING ELEVATION
- PROPOSED ELEVATION
- LIMITS OF GRADING
- CURB RAMP PER FDOT INDEX #522-002, TYPE SHOWN



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SUNRISE CITY HALL - ENABLING PACKAGE
10770 W. OAKLAND PARK BOULEVARD
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PAVING GRADING AND DRAINAGE PLAN

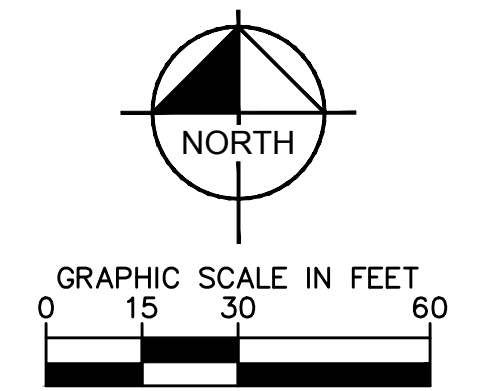
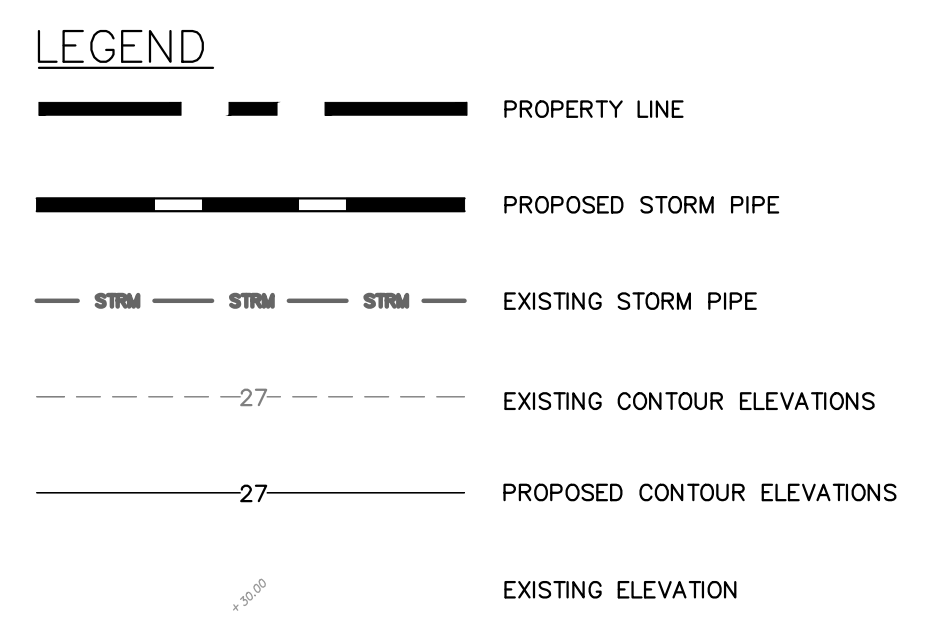
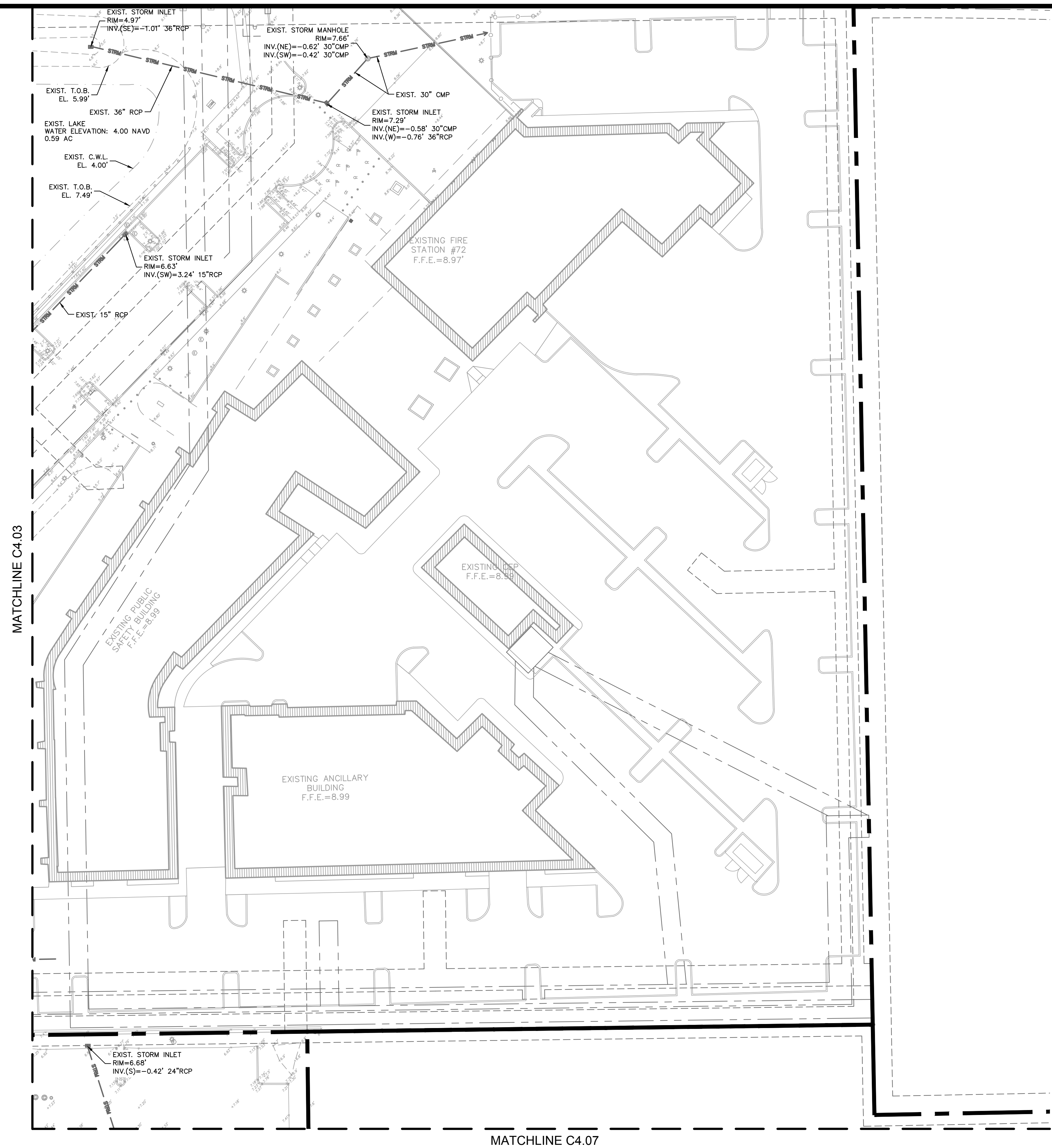
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DRAWING NO. **C4.03**

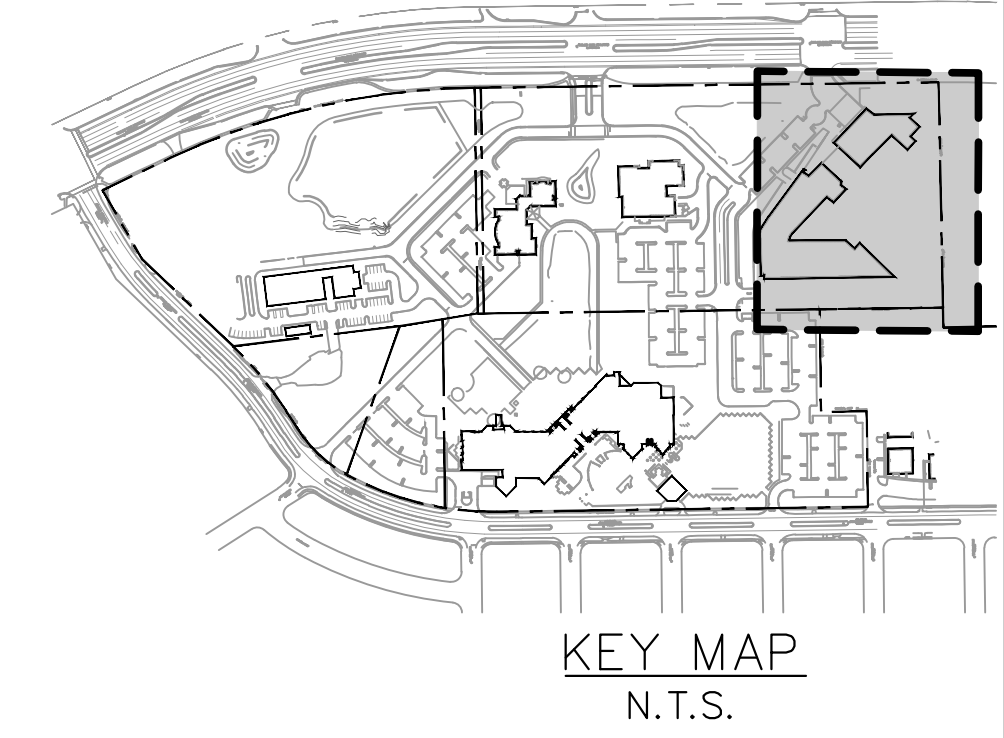
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PAVING GRADING AND DRAINAGE PLAN

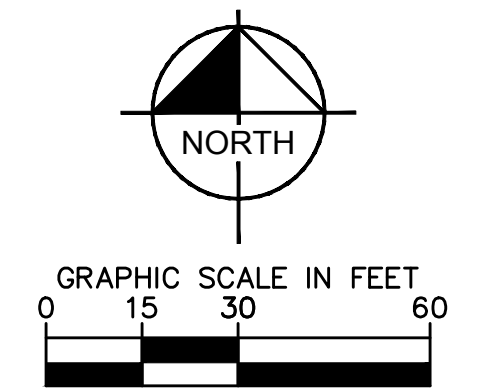
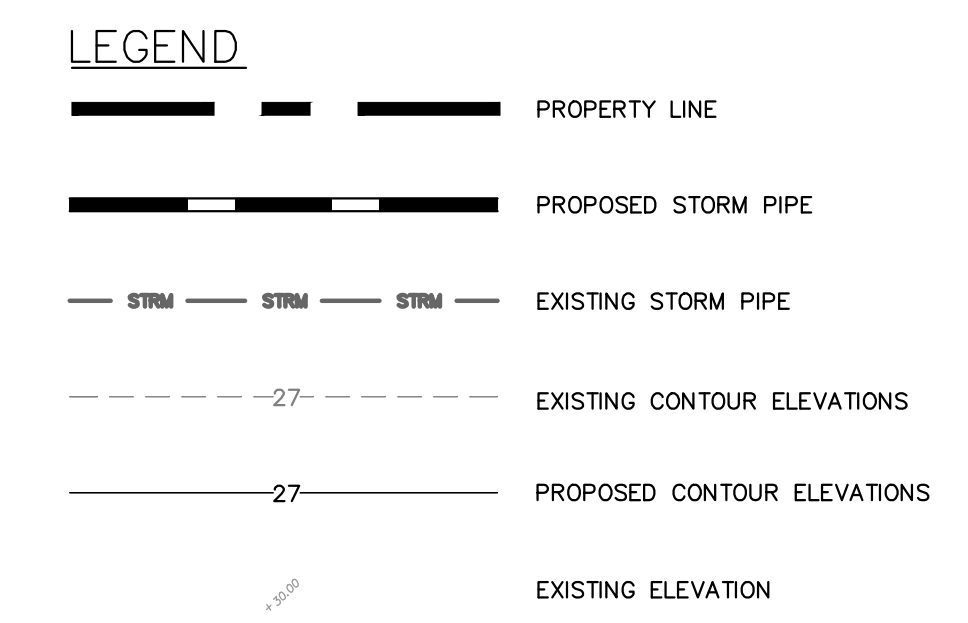
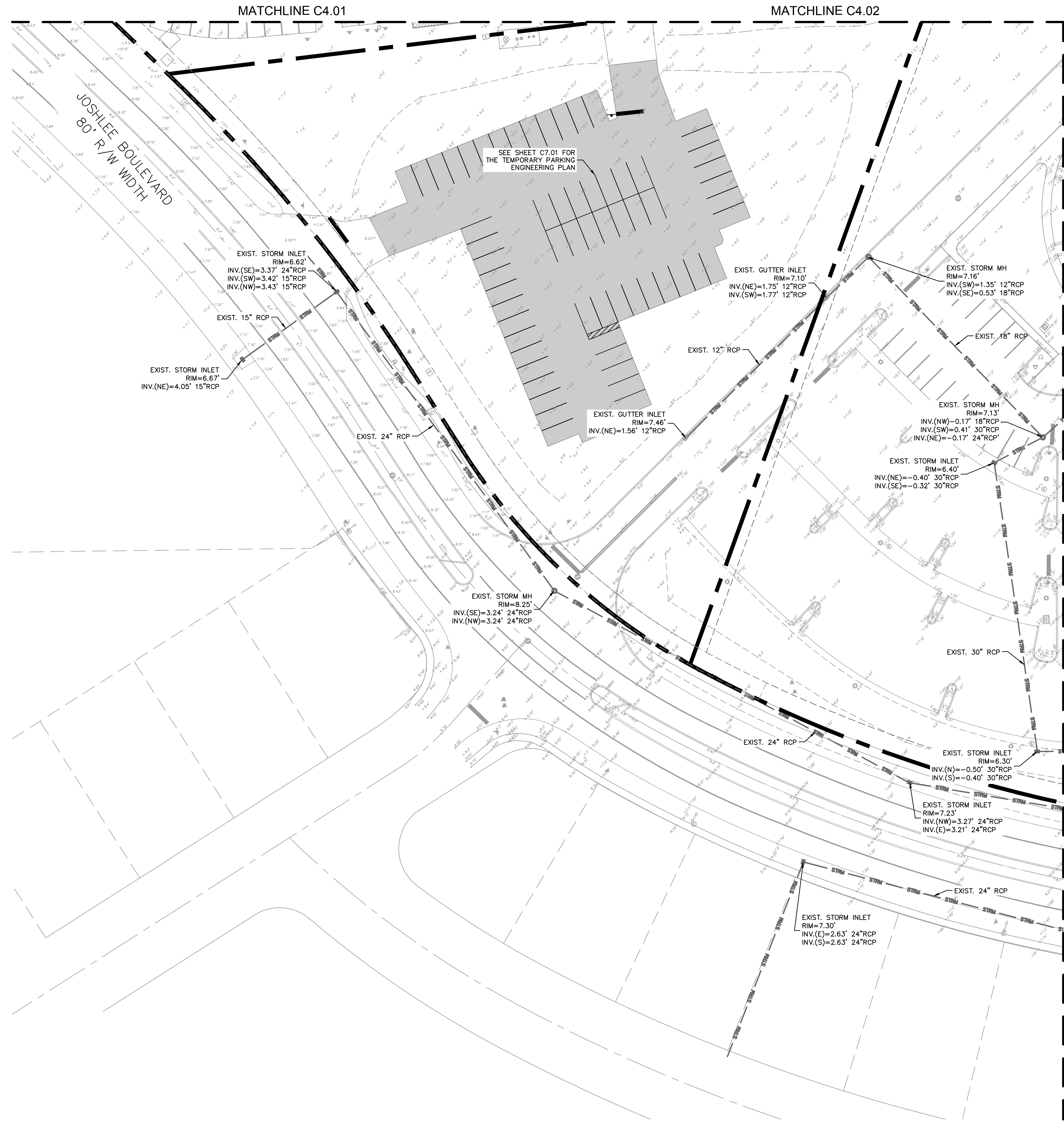
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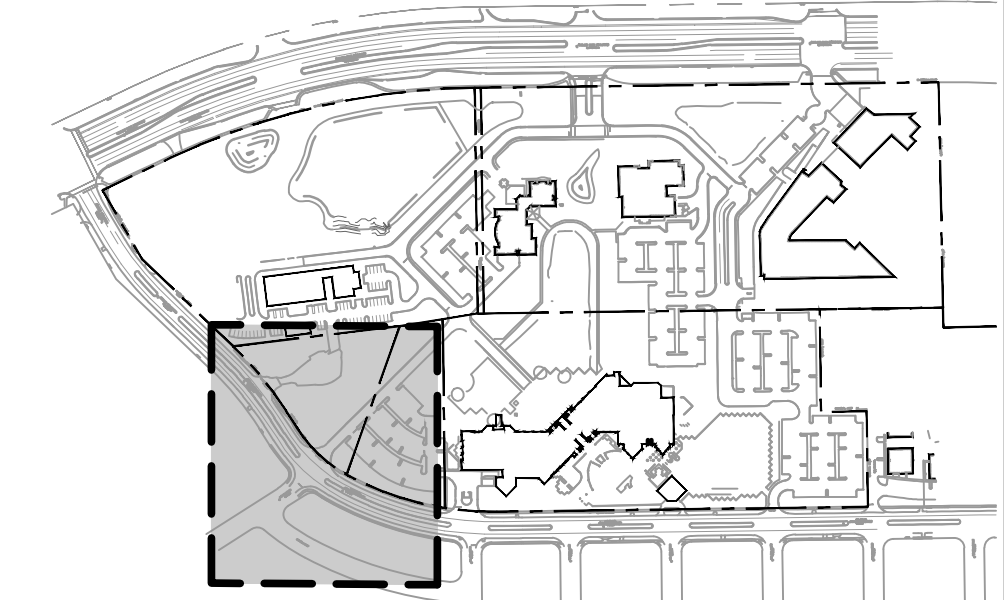
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KEY MAP N.T.S.

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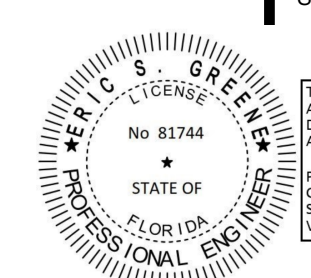
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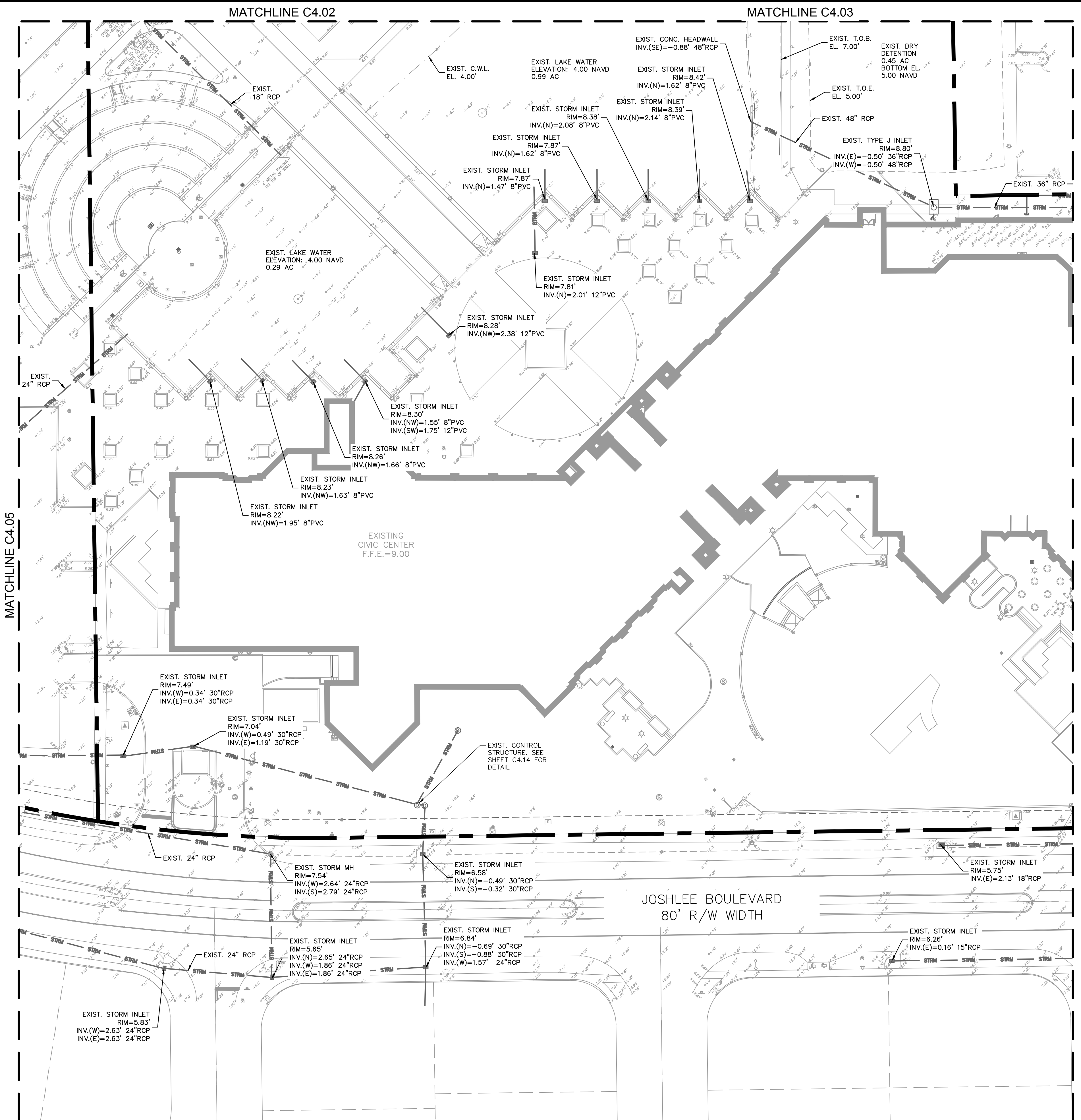


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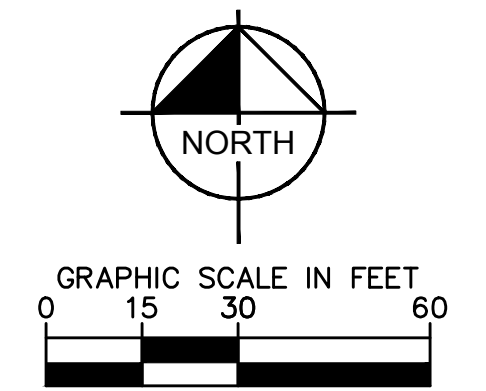
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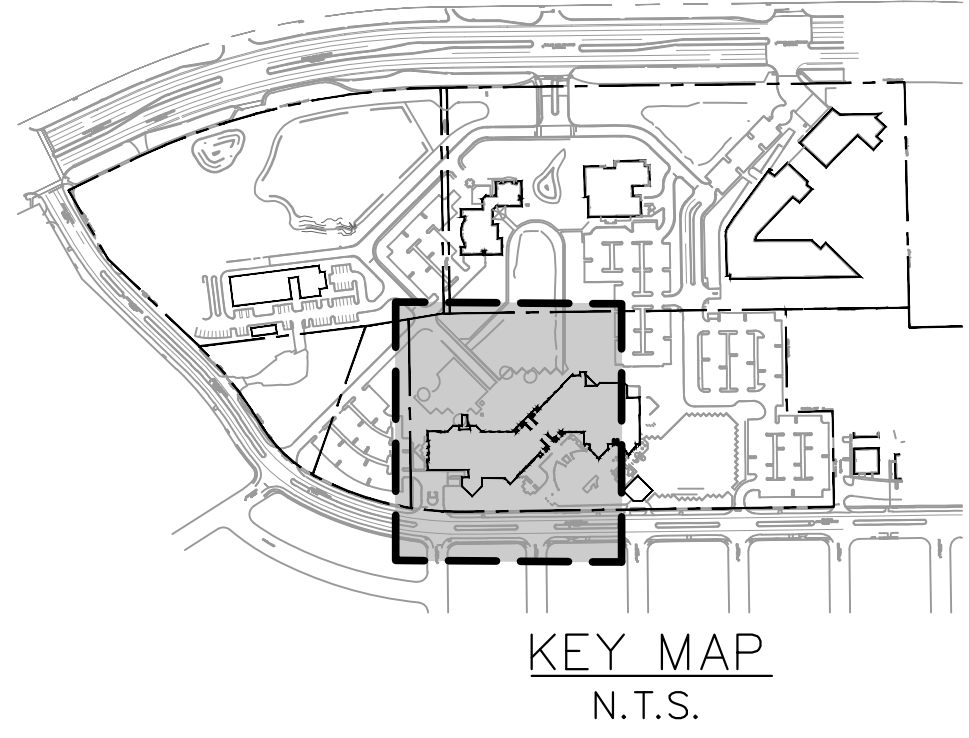
LEGEND

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- PROPOSED STORM PIPE
- EXISTING STORM PIPE
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- PROPOSED CONTOUR ELEVATIONS
- EXISTING ELEVATION



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6. PROPOSED ELEVATIONS IN ALL PERVIOUS AREAS REPRESENT FINISHED TOP OF SOD/GRASS OR ANY OTHER LANDSCAPING MATERIAL.
7. CONTRACTOR SHALL PROVIDE ALL FITTINGS, COUPLINGS, OR ADAPTERS NECESSARY TO CONNECT TO THE BUILDING PLUMBING AND TO CONNECT ROOF LEADERS TO THE MAIN STORM LINES.
8. CONTRACTOR SHALL SUPPORT AND PROTECT ALL EXISTING AND PROPOSED UTILITIES WHEN CONSTRUCTING NEW DRAINAGE STRUCTURES AND PIPES.
9. CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE AWAY FROM BUILDINGS FOR ALL NATURAL AND PAVED AREAS.
10. ELEVATIONS SHOWN AT CURB LINE ARE EDGE OF PAVEMENT UNLESS OTHERWISE NOTED.
11. CONTRACTOR SHALL CLEAN ALL PROPOSED DRAINAGE STRUCTURES AND PIPES UPON COMPLETION OF CONSTRUCTION.
12. ALL AREAS INDICATED AS PAVEMENT SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE TYPICAL SECTIONS WITHIN THE DRAWINGS.
13. THE CONTRACTOR SHALL GRADE THE SITE TO THE INDICATED ELEVATIONS AND SHALL RE-GRADE WASHOUTS AS THEY OCCUR AFTER EVERY RAINFALL UNTIL A GRASS STAND IS WELL ESTABLISHED OR ADEQUATE STABILIZATION OCCURS.
14. LANDSCAPE ISLANDS IN PARKING AREAS ARE TO BE BERMED 18" ABOVE BACK OF CURB ELEVATION.
15. EXISTING STORM DRAIN SYSTEM TO REMAIN OPERATIONAL UNTIL NEW STORM DRAIN SYSTEM IS COMPLETE.
16. A TACK COAT SHALL BE USED BETWEEN PAVING COURSES, AND A PRIME COAT SHALL BE USED ON THE FINISHED ROCK BASE. ONLY VIRGIN MATERIALS MAY BE USED IN WEARING COURSES UNLESS OTHERWISE APPROVED IN WRITING. RECYCLED ASPHALT USED IN THE ROAD MIX SHALL NOT EXCEED 10%.
17. CURB PAD - LIMEROCK FOUNDATION OR "PAD" WITH A MINIMUM LBR OF 100 AND MINIMUM CARBONATE CONTENT OF 70% PADS SHALL BE AT LEAST FOUR (4) INCHES THICK, EXTENDING SIX (6) INCHES (MIN.) BEYOND THE EDGES OF THE CONCRETE COMPACTED TO 98% OF MAXIMUM DENSITY PER ASTM D 1557.
18. ANY SIGNS OR PAVEMENT MARKINGS THAT HAVE BEEN DAMAGED OR DESTROYED SHALL BE REPAIRED OR REPLACED IN ACCORDANCE WITH TRAFFIC ENGINEERING STANDARDS AND SPECIFICATIONS.
19. ALL PVC PIPE SHALL BE SDR 26 WITH SAND COLLAR.
20. EXISTING DRAINAGE SYSTEM TO REMAIN WITHIN PROJECT AREA AND SHALL BE CLEANED PRIOR TO FINAL SITE APPROVAL.
21. EXISTING DRAINAGE SYSTEM TO BE CLEANED IN ITS ENTIRETY PRIOR TO FINAL SITE APPROVAL.
22. EXISTING VALVES AND MANHOLES TO BE ADJUSTED TO CITY STANDARDS.
23. CROSSWALK STRIPING SHALL BE THERMOPLASTIC. ALL OTHER STRIPING SHALL BE PAINT.
24. PRBS SHALL BE A MINIMUM OF 2'-FEET FROM OPPOSITE WALL OF STRUCTURE, FROM OBSTRUCTION, OR ANOTHER PRB.
25. CONTRACTOR TO CLEAN ALL DRAINAGE STRUCTURES AND PIPING WITHIN ONE MANHOLE UPSTREAM AND DOWNSTREAM OF ALL DRAINAGE CONSTRUCTION ACTIVITY.



PLANS ARE IN NAVD 1988 DATUM
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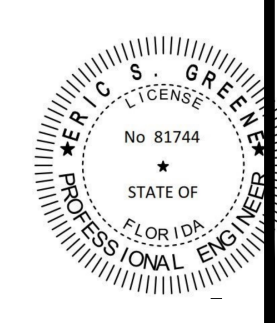
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SUNRISE CITY HALL - ENABLING PACKAGE
10770 W. OAKLAND PARK BOULEVARD
SUNRISE, FL 33351

PAVING GRADING AND DRAINAGE PLAN



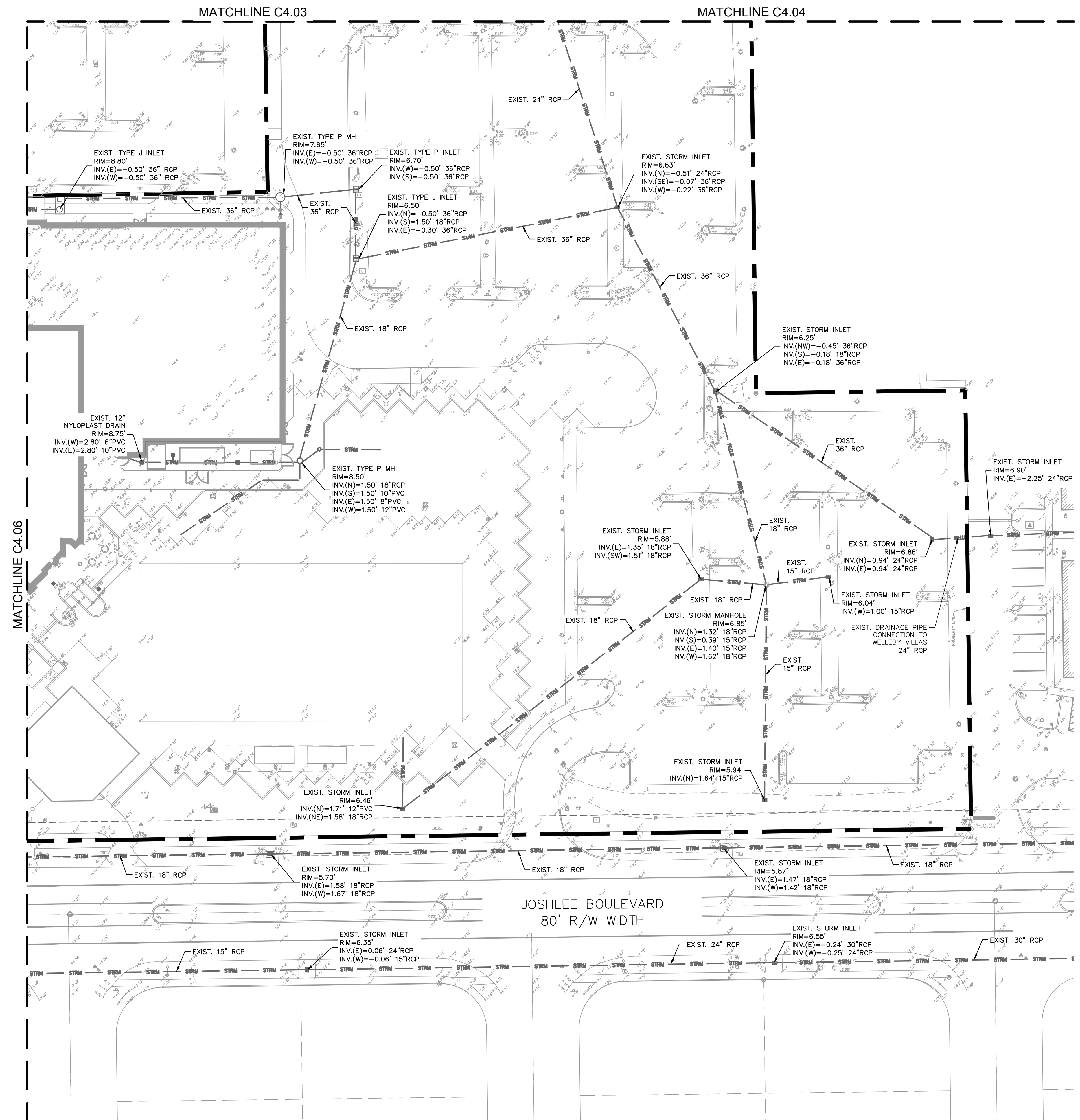
SEAL

DATE: OCTOBER 21, 2020

DRAWING NO. C4.06

DATE: 10/26/2020

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LEGEND

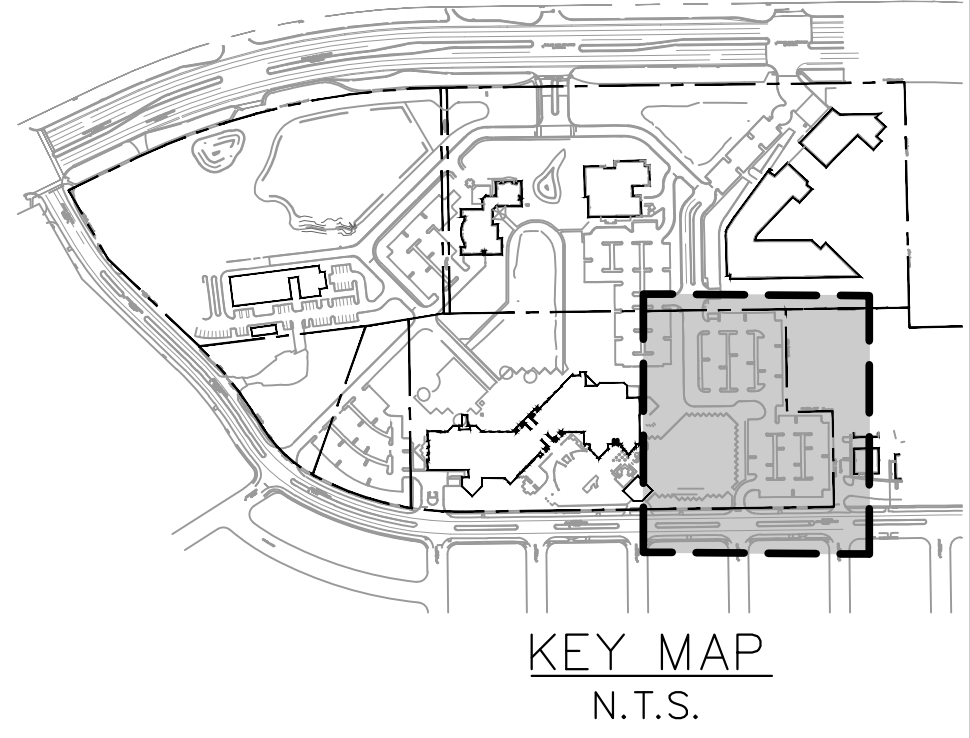
- PROPERTY LINE
- PROPOSED STORM PIPE
- EXISTING STORM PIPE
- EXISTING CONTOUR ELEVATIONS
- PROPOSED CONTOUR ELEVATIONS
- EXISTING ELEVATION

NORTH

GRAPHIC SCALE IN FEET

0 15 30 60

- PAVING, GRADING AND DRAINAGE NOTES**
- DRAINAGE STRUCTURES SHALL BE CONSTRUCTED USING U.S. PRECAST (USP), U.S. FOUNDRY (USF), OR FLORIDA DEPARTMENT OF TRANSPORTATION STANDARD (FDOT) PRODUCTS AS SPECIFIED, OR APPROVED EQUAL.
 - ALL STORM STRUCTURES SHALL HAVE A MINIMUM 18" SLUMP.
 - ALL STORM PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) OR HIGH DENSITY POLY-ETHYLENE (HDPE) PIPE.
 - ALL PIPE LENGTHS ARE MEASURED FROM CENTER OF STRUCTURES UNLESS OTHERWISE NOTED.
 - THE CROSS SLOPE ON ADA ACCESSIBLE ROUTES SHALL NOT EXCEED 2.0% THE LONGITUDINAL SLOPE ON ADA ACCESSIBLE ROUTES (NOT INCLUDING RAMPS) SHALL NOT EXCEED 5.0% THE LONGITUDINAL SLOPE FOR RAMPS SHALL NOT EXCEED 12:1 (8.3%).
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SUNRISE CITY HALL - ENABLING PACKAGE
10770 W. OAKLAND PARK BOULEVARD
SUNRISE, FL 33351

PAVING GRADING AND DRAINAGE PLAN

SEAL

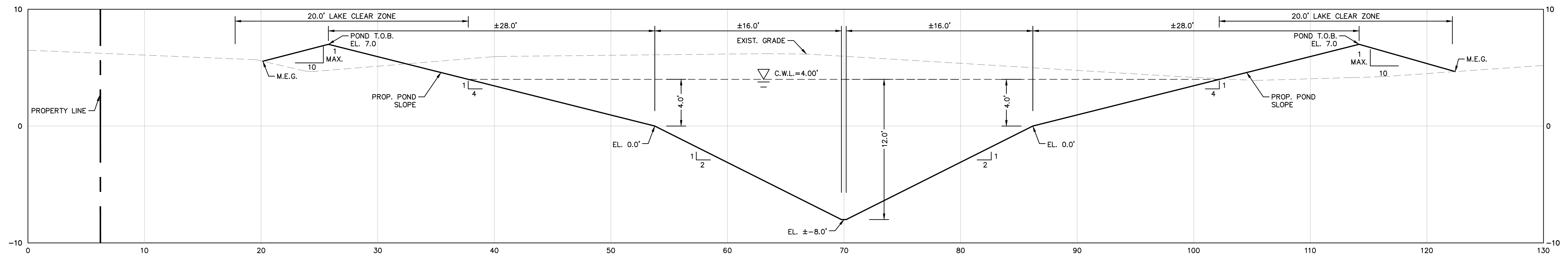
ERIC S. GREENE
No. 81744
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE: **OCTOBER 21, 2020**

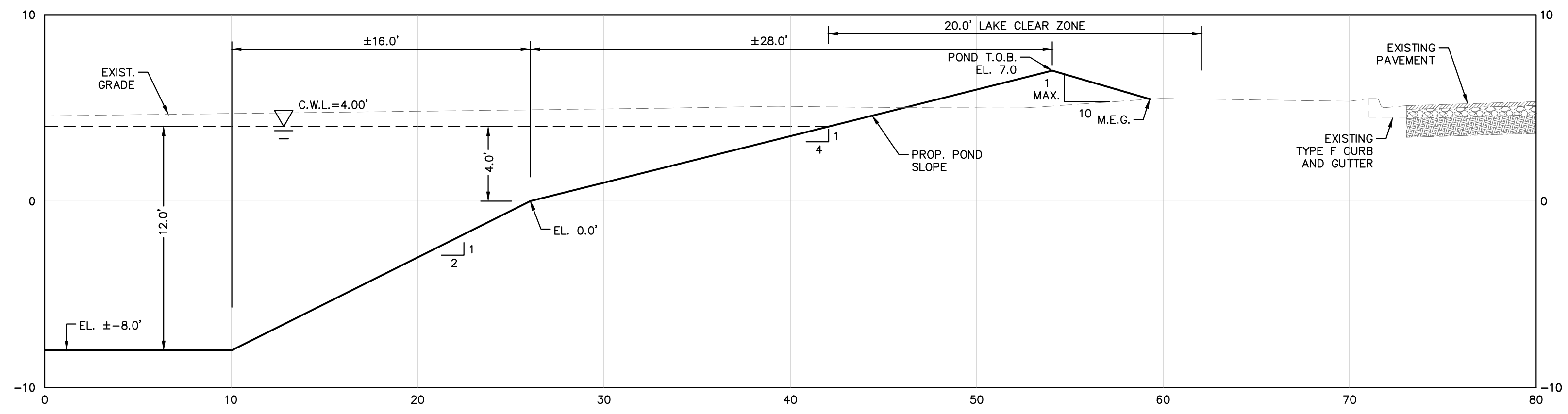
DRAWING NO. **C4.07**

DATE: 10/26/2020

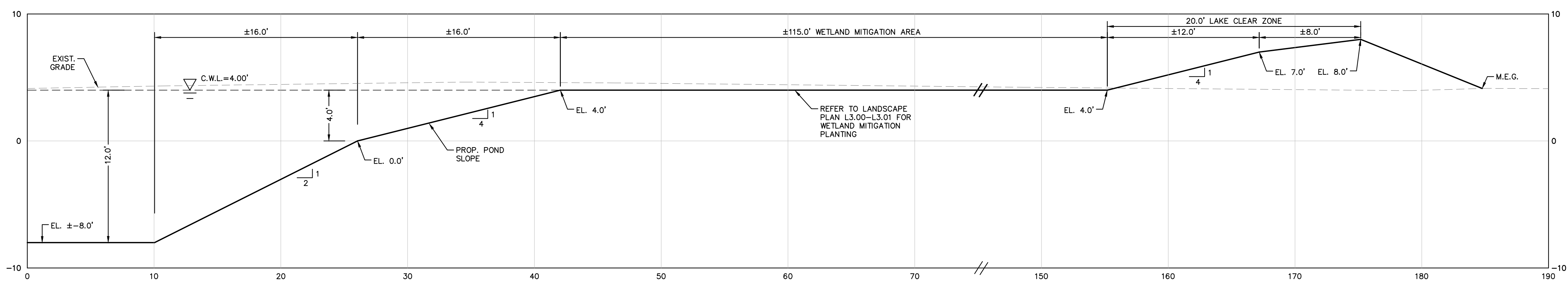
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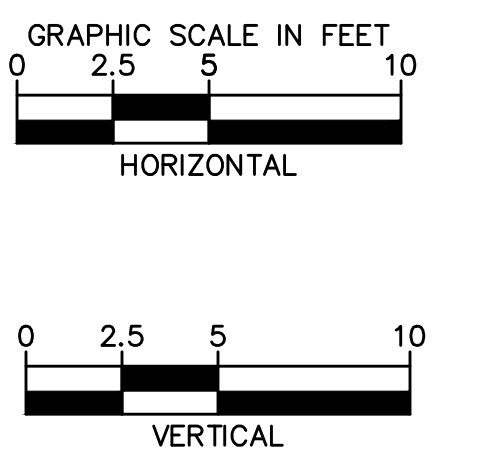
SECTION A-A



SECTION B-B



SECTION C-C



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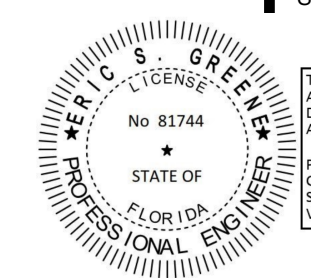
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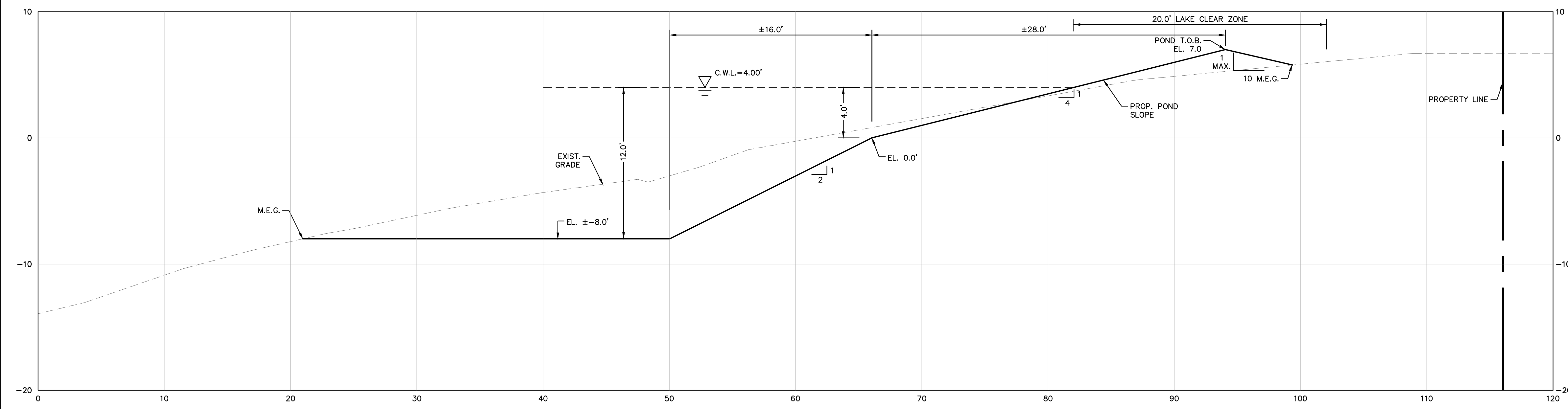
SUNRISE CITY HALL - ENABLING PACKAGE
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SUNRISE, FL 33351

CROSS SECTIONS
DETAILS

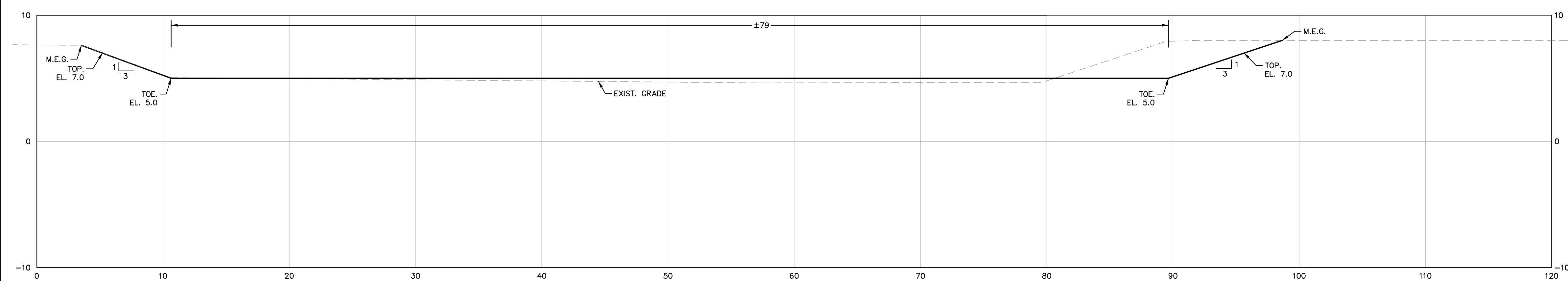


DATE: OCTOBER 21, 2020
DRAWING NO. C4.08
DATE: 10/26/2020

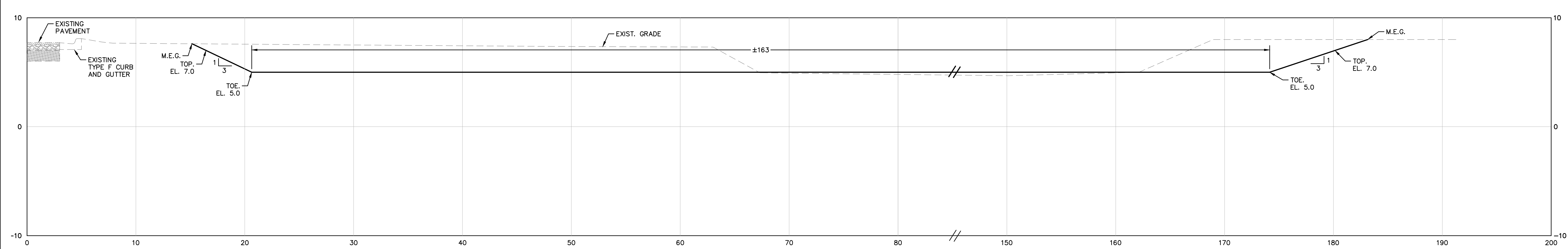
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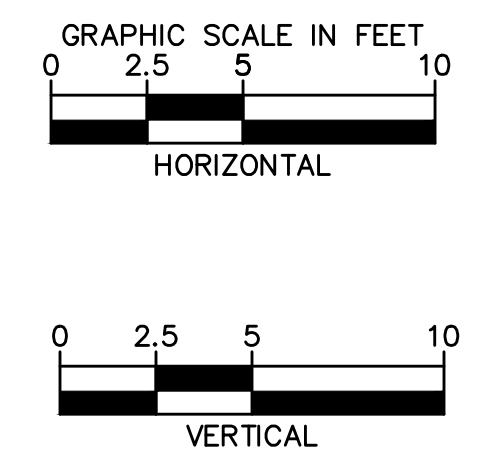
SECTION D-D



SECTION E-E



SECTION F-F



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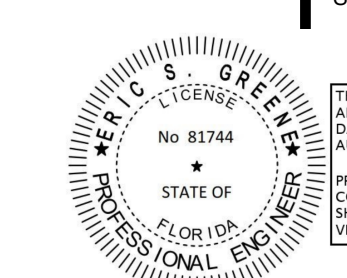
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SUNRISE CITY HALL - ENABLING PACKAGE
 10770 W. OAKLAND PARK BOULEVARD
 SUNRISE, FL 33351

CROSS SECTIONS
 DETAILS

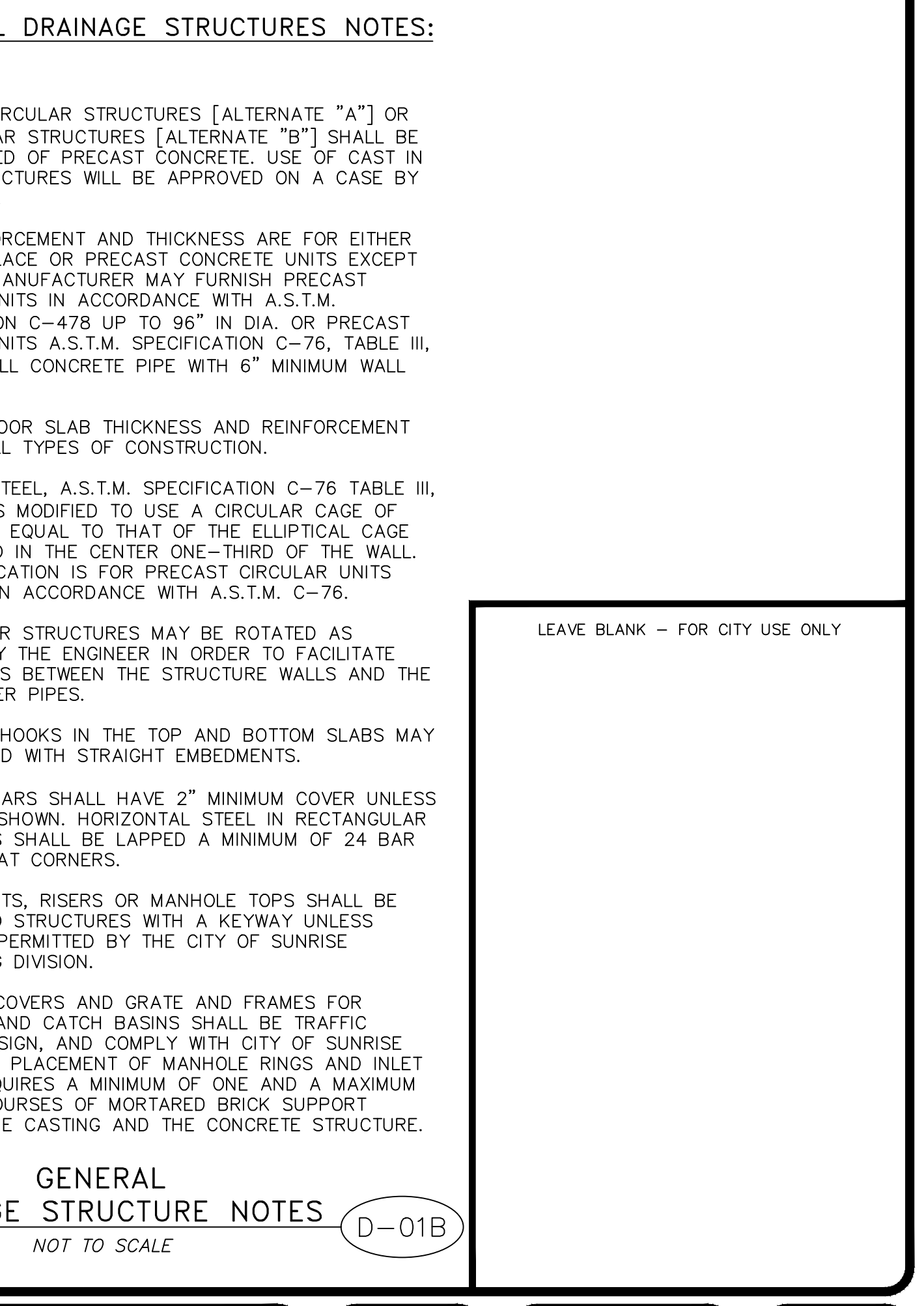
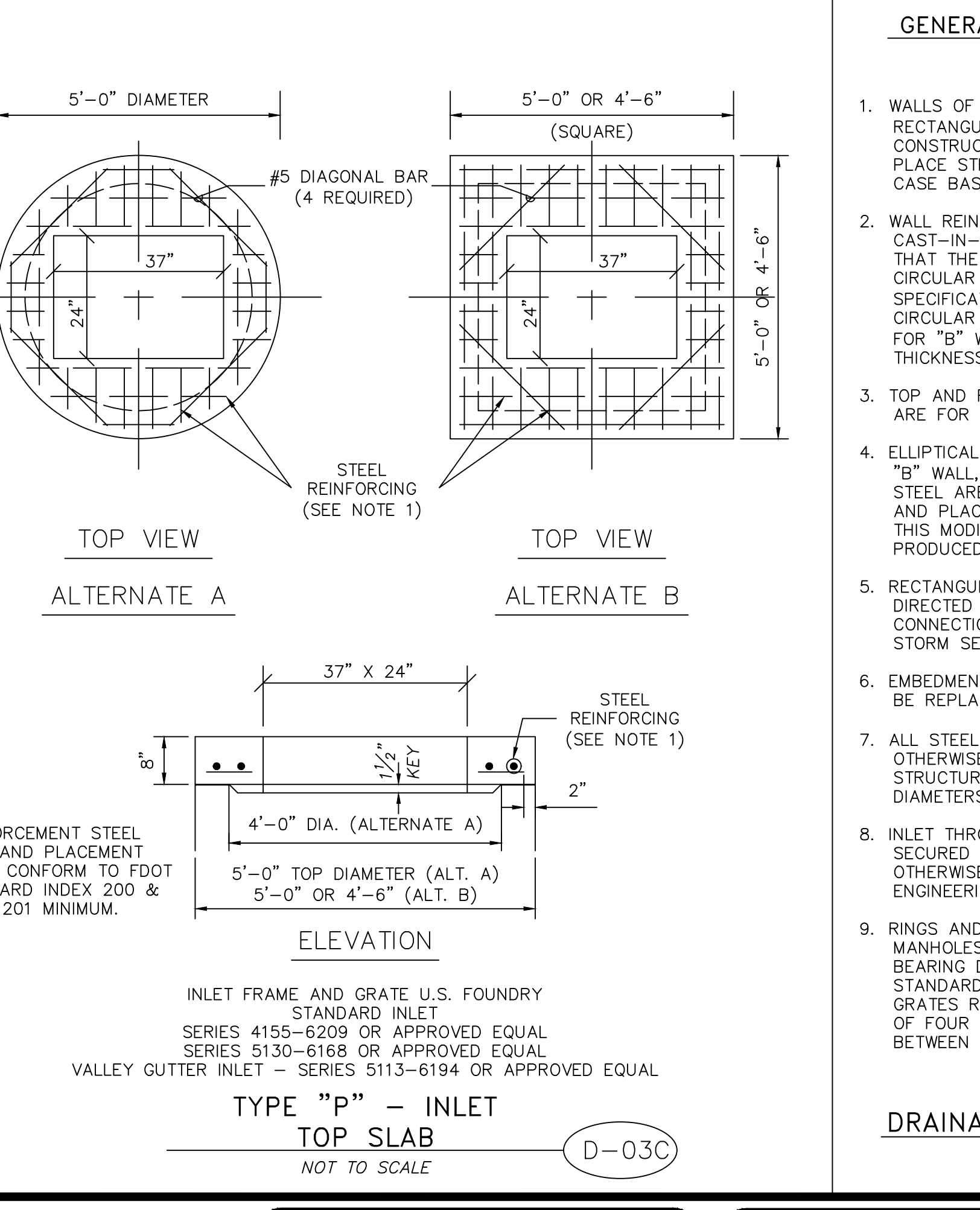
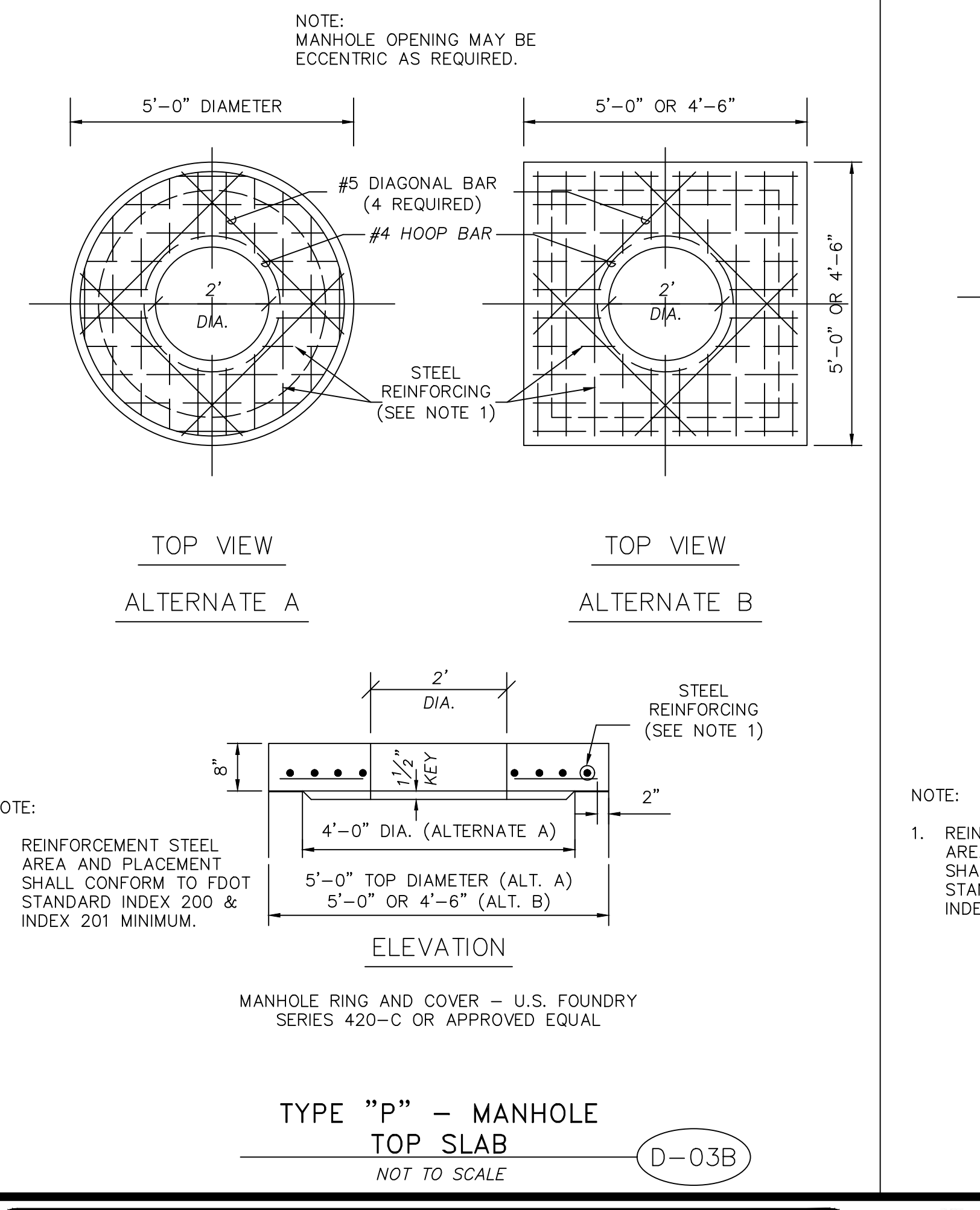
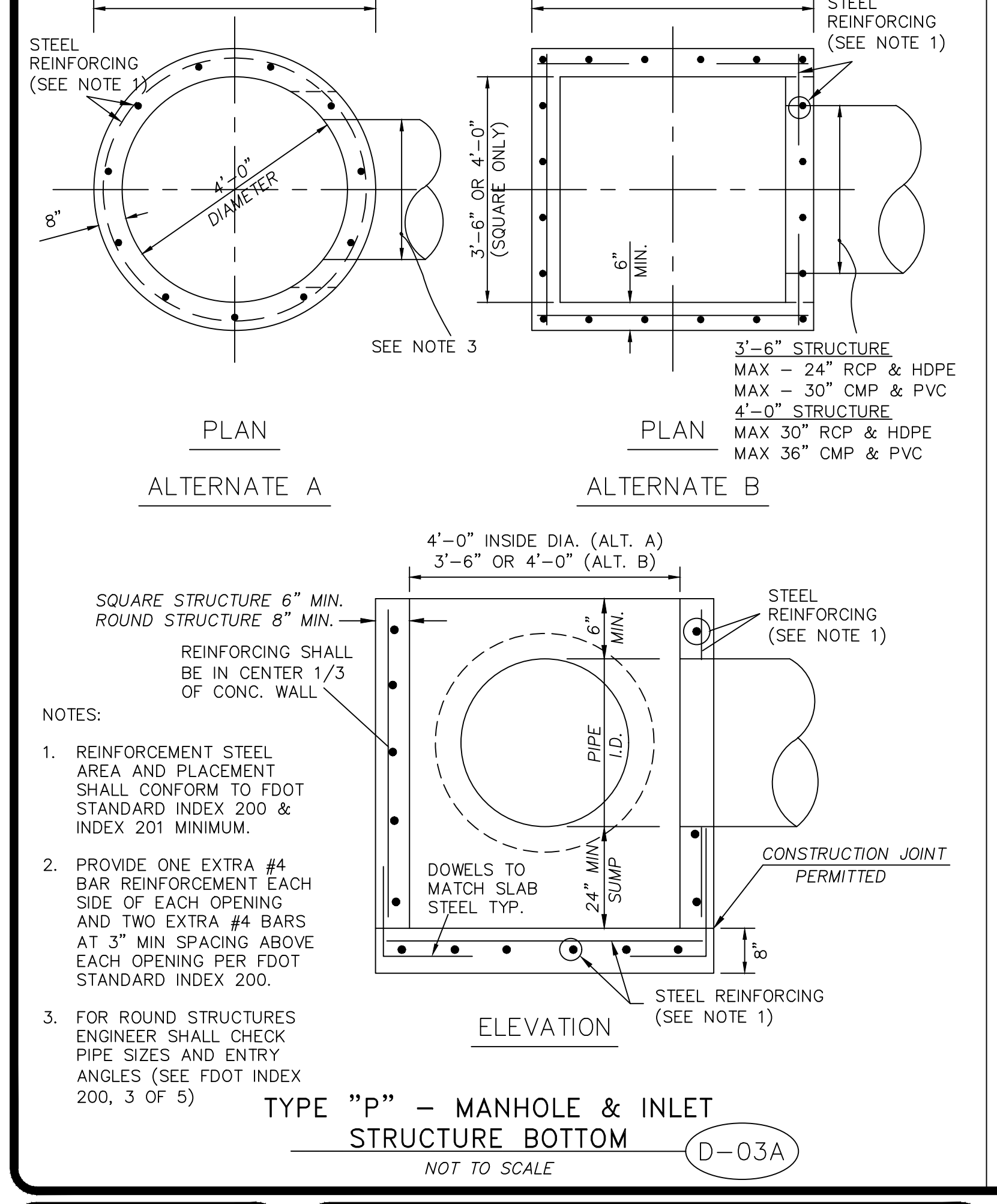
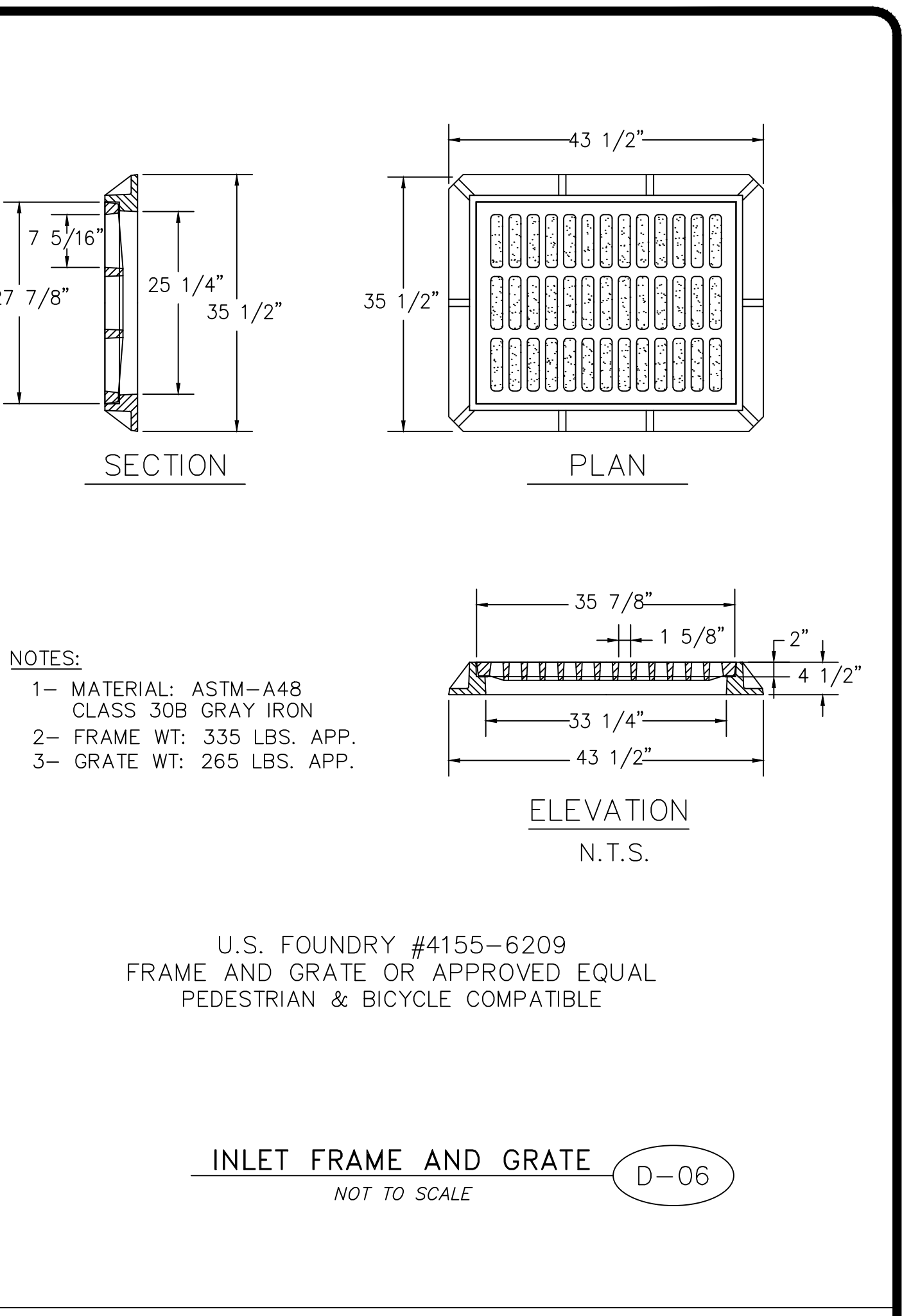
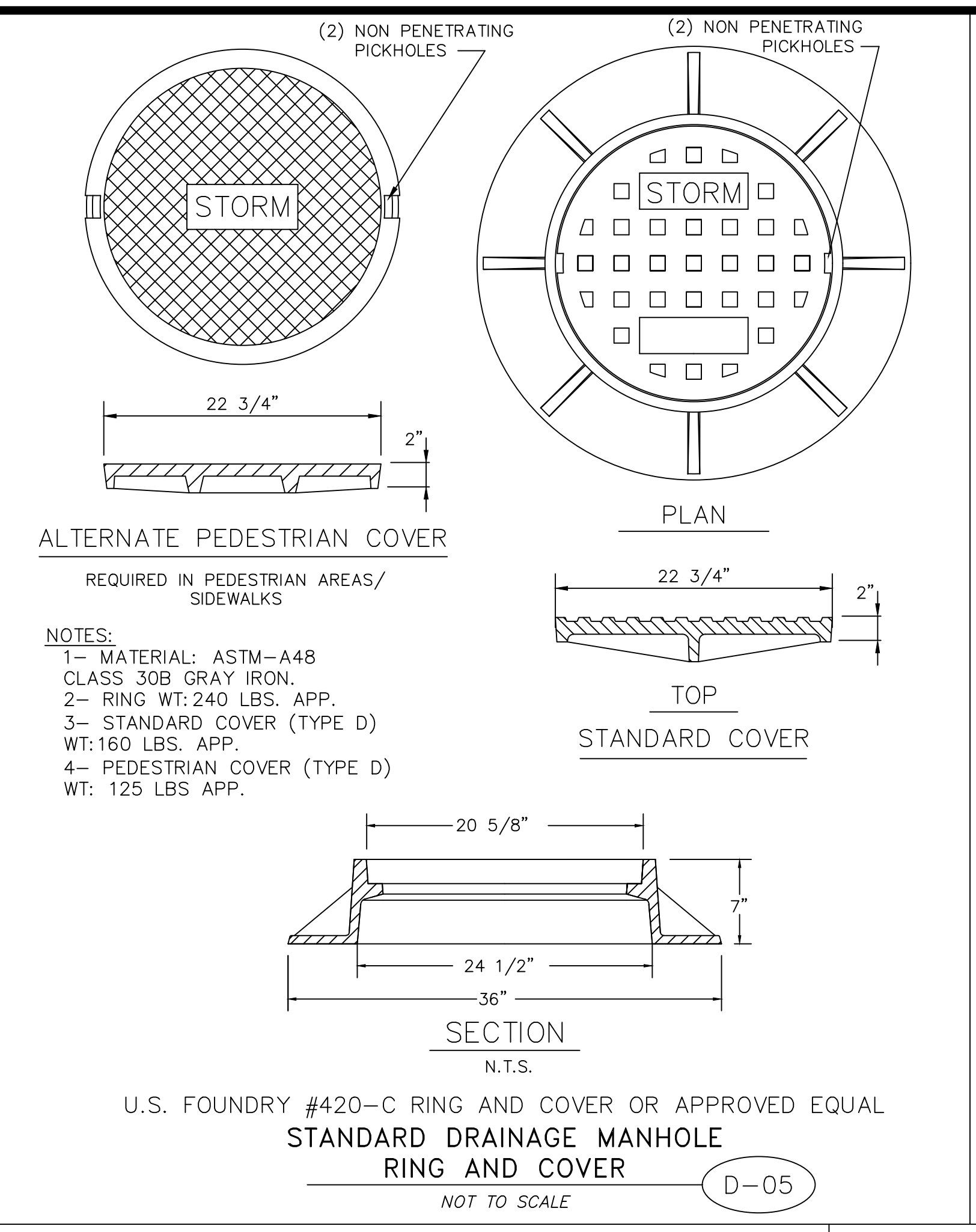
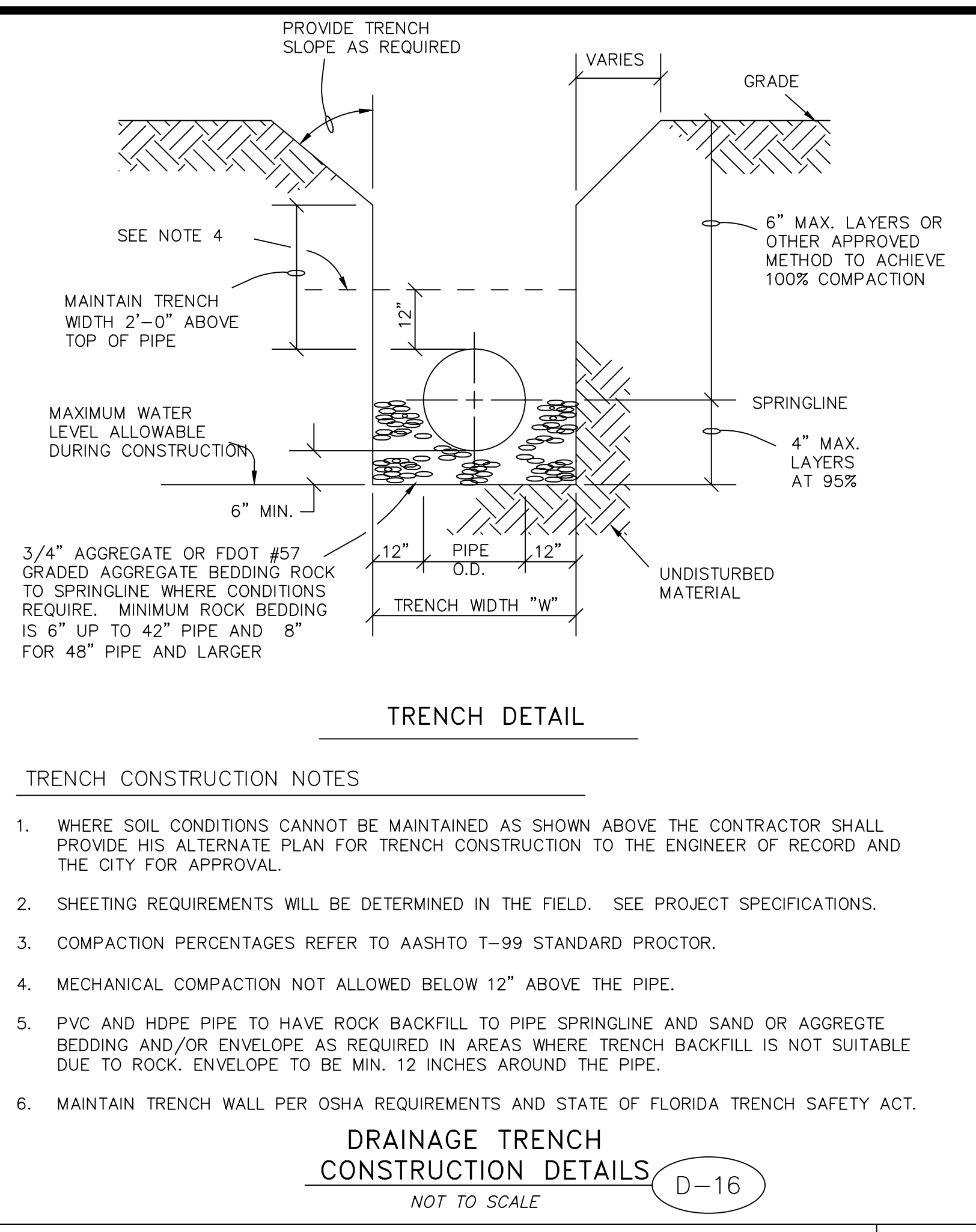
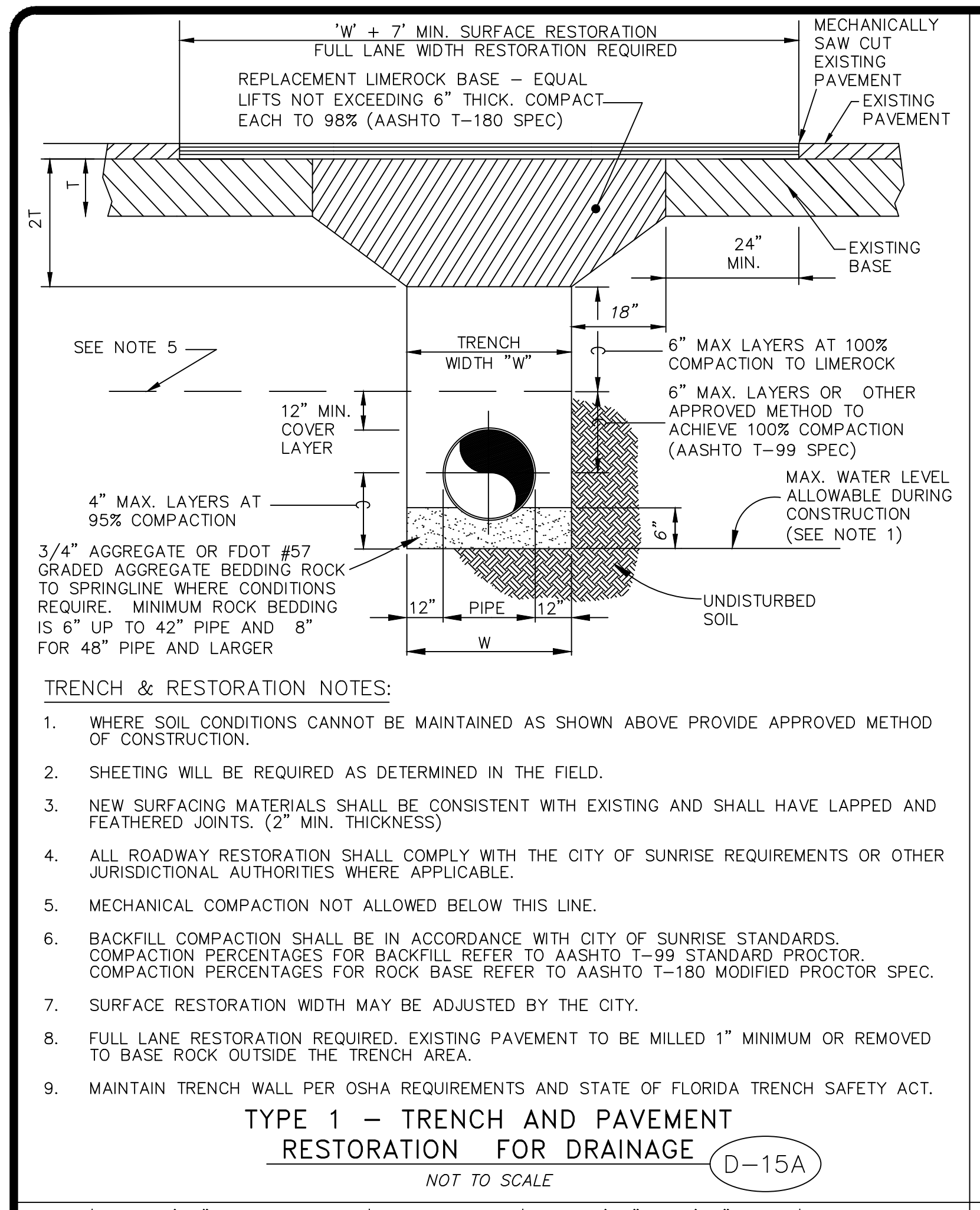


SEAL

DATE: OCTOBER 21, 2020

DRAWING NO. C4.09

DATE: 10/26/2020



Designed By:	
Drawn By:	
Checked By:	

SYMBOL	NO.	DATE	REVISIONS	BY

CITY OF SUNRISE FLORIDA
COMMUNITY DEVELOPMENT DEPARTMENT
ENGINEERING DIVISION
STANDARD PAVING & DRAINAGE DETAILS

10/26/2020

PROJECT CONSULTANT
Kimley-Horn
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PHONE: 561-330-3345 FAX: 561-363-9175
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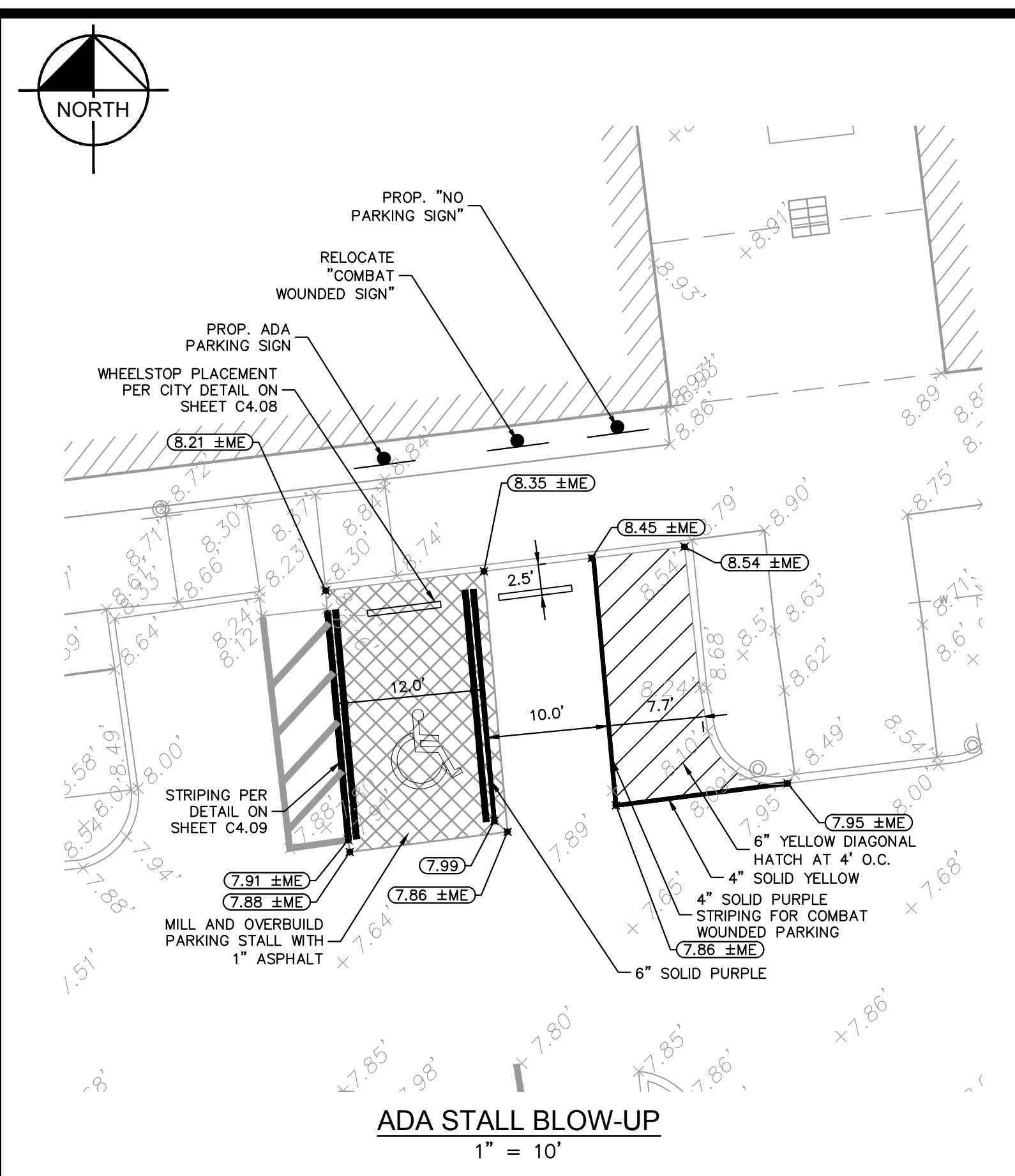
PROJECT
SUNRISE CITY HALL ENABLING PACKAGE

DATE
10/21/20

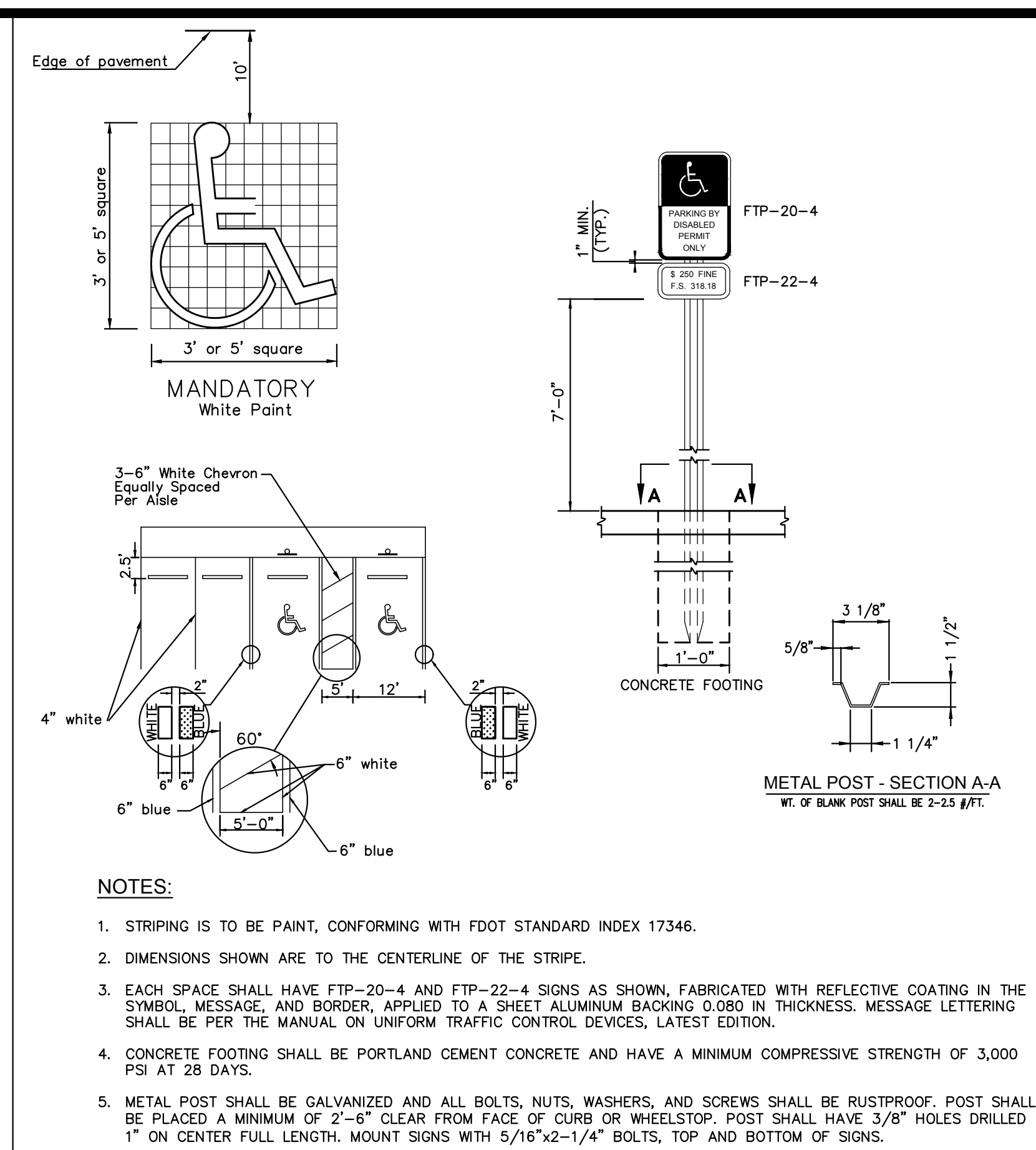
PROJECT NUMBER
144418003

SHEET NUMBER
C4.10

NOT TO SCALE

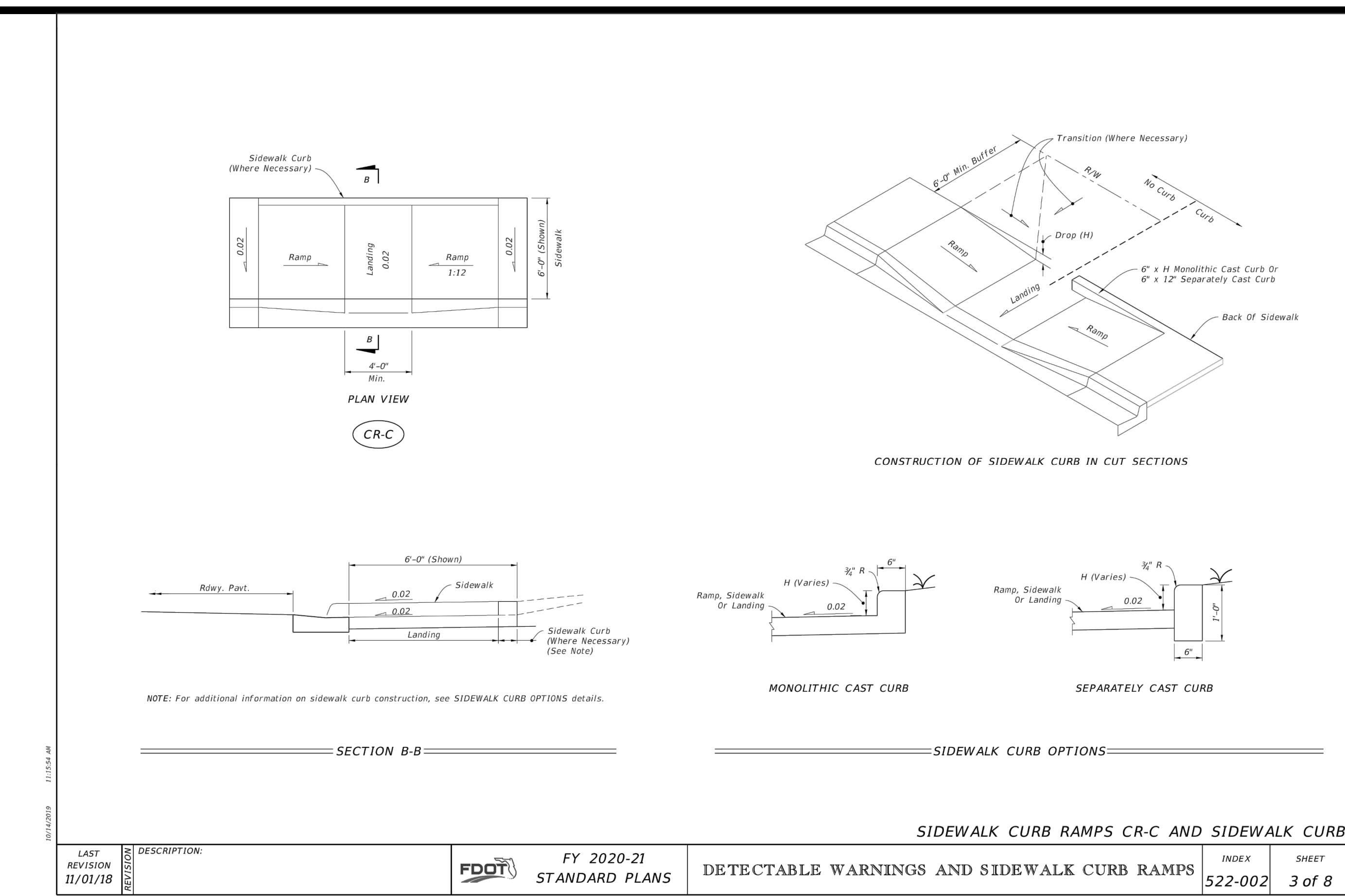


ADA STALL BLOW-UP
1" = 10'

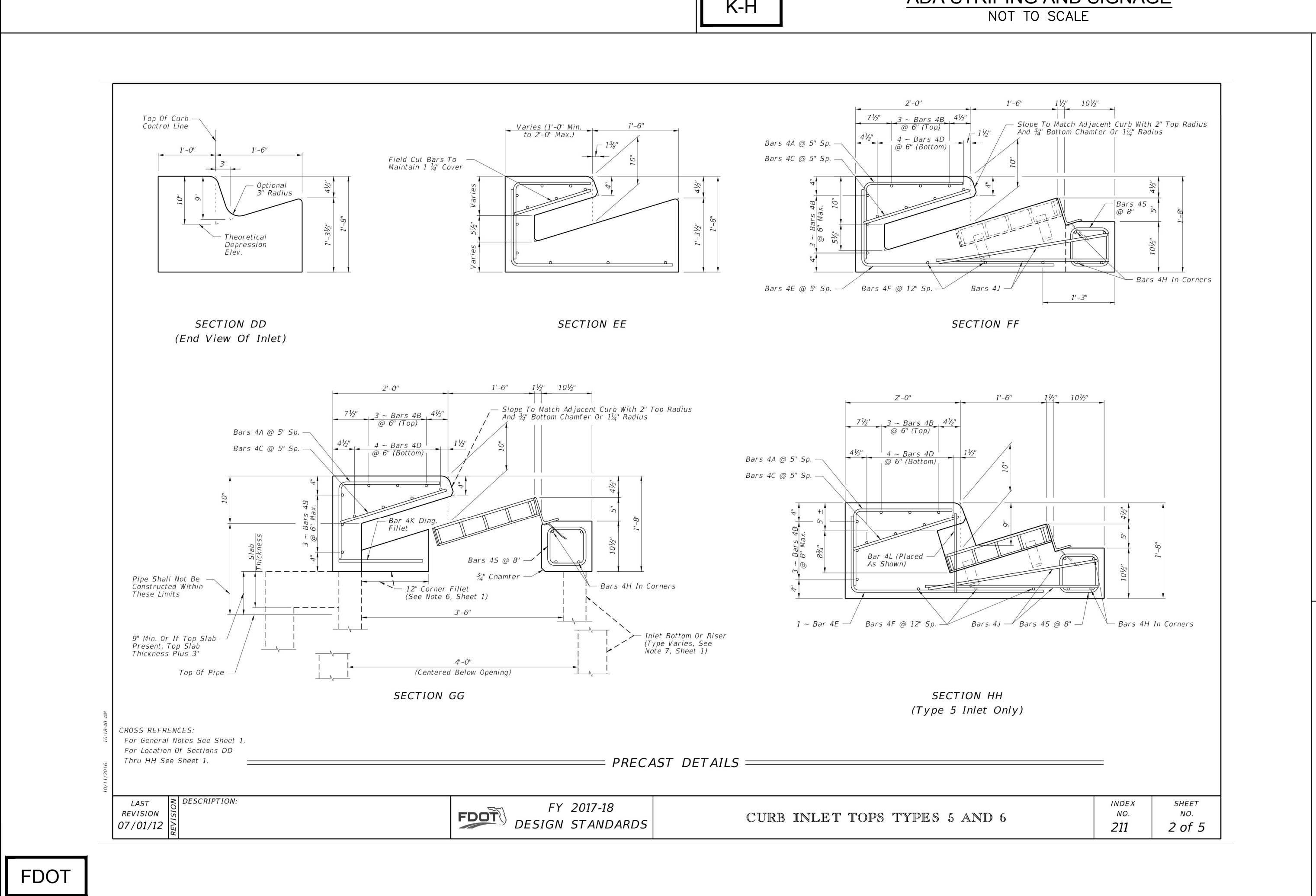


- NOTES:**
- STRIPING IS TO BE PAINT, CONFORMING WITH FDOT STANDARD INDEX 17346.
 - DIMENSIONS SHOWN ARE TO THE CENTERLINE OF THE STRIPE.
 - EACH SPACE SHALL HAVE FTP-20-4 AND FTP-22-4 SIGNS AS SHOWN, FABRICATED WITH REFLECTIVE COATING IN THE SYMBOL, MESSAGE, AND BORDER, APPLIED TO A SHEET ALUMINUM BACKING 0.080 IN THICKNESS. MESSAGE LETTERING SHALL BE PER THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
 - CONCRETE FOOTING SHALL BE PORTLAND CEMENT CONCRETE AND HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS.
 - METAL POST SHALL BE GALVANIZED AND ALL BOLTS, NUTS, WASHERS, AND SCREWS SHALL BE RUSTPROOF. POST SHALL BE PLACED A MINIMUM OF 2'-6" CLEAR FROM FACE OF CURB OR WHEELSTOP. POST SHALL HAVE 3/8" HOLES DRILLED 1" ON CENTER FULL LENGTH. MOUNT SIGNS WITH 5/16"x2-1/4" BOLTS, TOP AND BOTTOM OF SIGNS.

ADA STRIPING AND SIGNAGE
NOT TO SCALE

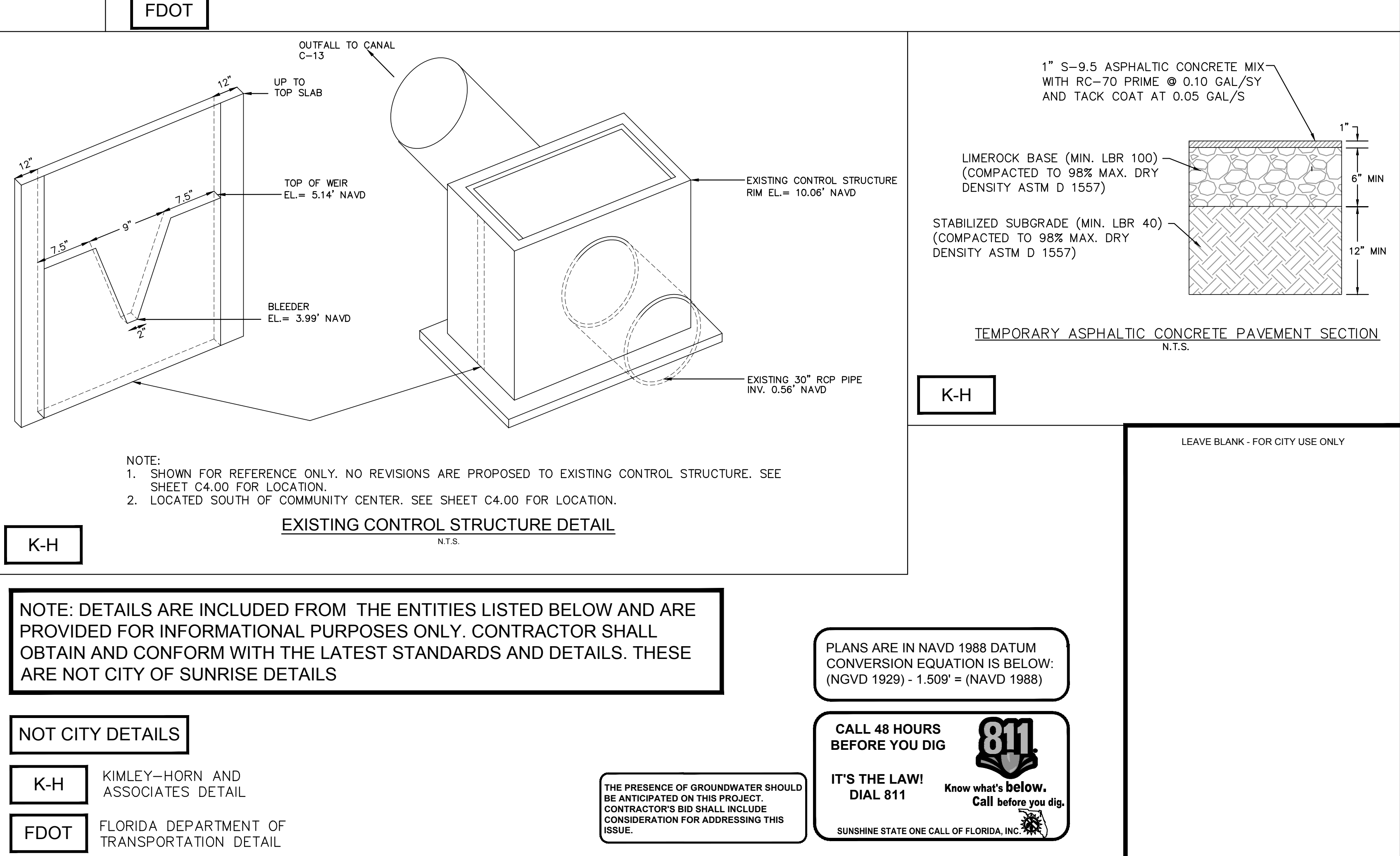


LAST REVISION 11/01/18	DESCRIPTION:	FDOT	FY 2020-21 STANDARD PLANS	DETECTABLE WARNINGS AND SIDEWALK CURB RAMP	INDEX 522-002	SHEET 3 of 8
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LAST REVISION 07/01/12	DESCRIPTION:	FDOT	FY 2017-18 DESIGN STANDARDS	CURB INLET TOPS TYPES 5 AND 6	INDEX NO. 211	SHEET NO. 2 of 5
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FDOT



- NOTE:**
- SHOWN FOR REFERENCE ONLY. NO REVISIONS ARE PROPOSED TO EXISTING CONTROL STRUCTURE. SEE SHEET C4.00 FOR LOCATION.
 - LOCATED SOUTH OF COMMUNITY CENTER. SEE SHEET C4.00 FOR LOCATION.

NOTE: DETAILS ARE INCLUDED FROM THE ENTITIES LISTED BELOW AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL OBTAIN AND CONFORM WITH THE LATEST STANDARDS AND DETAILS. THESE ARE NOT CITY OF SUNRISE DETAILS

NOT CITY DETAILS

K-H KIMLEY-HORN AND ASSOCIATES DETAIL

FDOT FLORIDA DEPARTMENT OF TRANSPORTATION DETAIL

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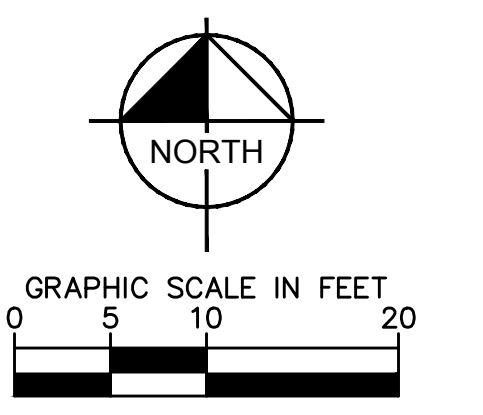
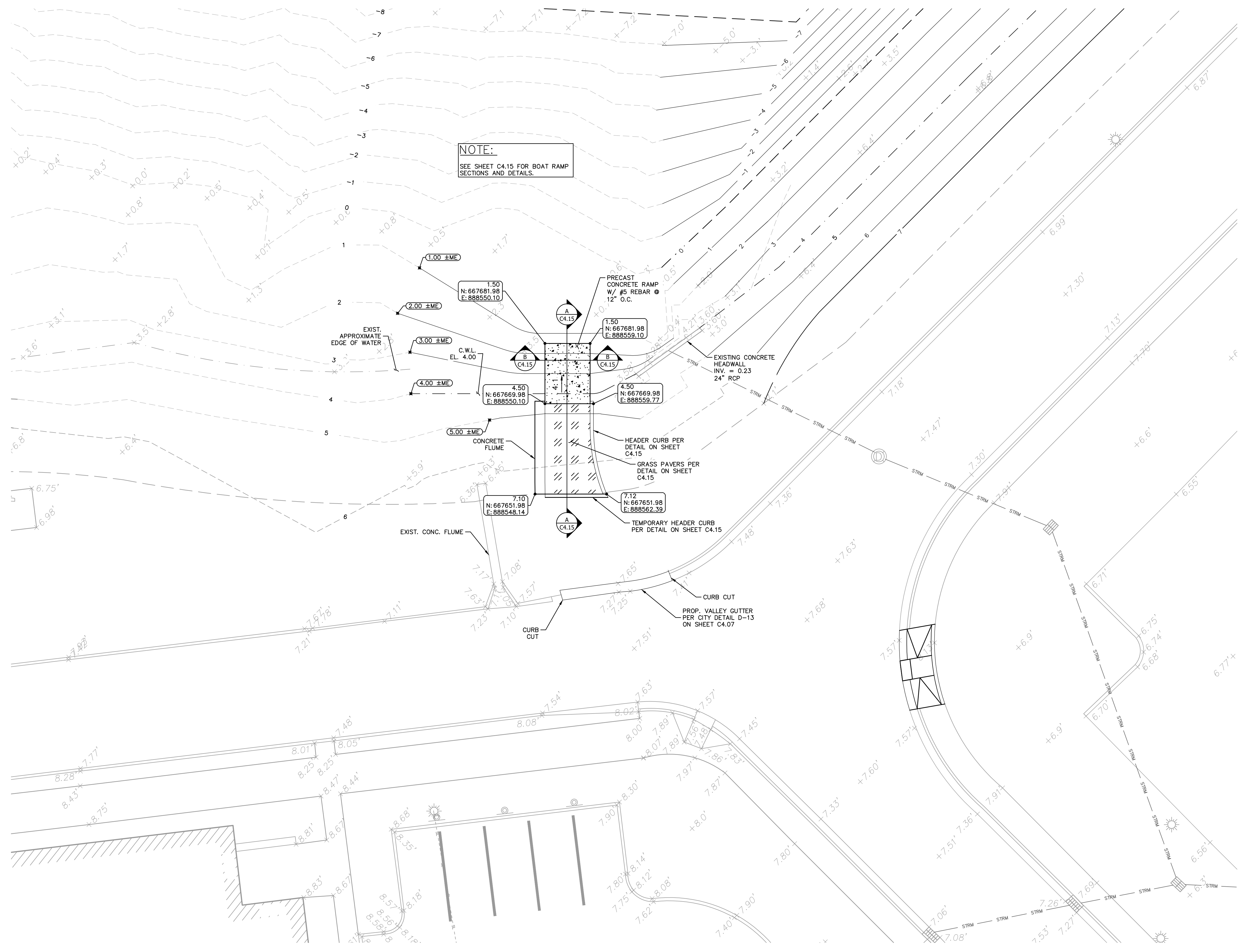
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SUNRISE, FL 33351

PAVING GRADING AND DRAINAGE DETAILS

SEAL LICENSED PROFESSIONAL	DATE: OCTOBER 21, 2020
ERIC S. GREENE, P.E. FL LICENSE NUMBER 81744	DRAWING NO. C4.14
DATE: 10/26/2020	

Plotted By: Meyer, Liandre Sheet Set: SUNRISE CITY HALL - ENABLING PACKAGE Layout: C4.14 BOAT RAMP BLOW UP July 13, 2020 09:55:12am K:\bocd_siv\144418003 - sunrise city hall\CADD\plansheets\Enabling\C4.14 BOAT RAMP BLOW UP.dwg



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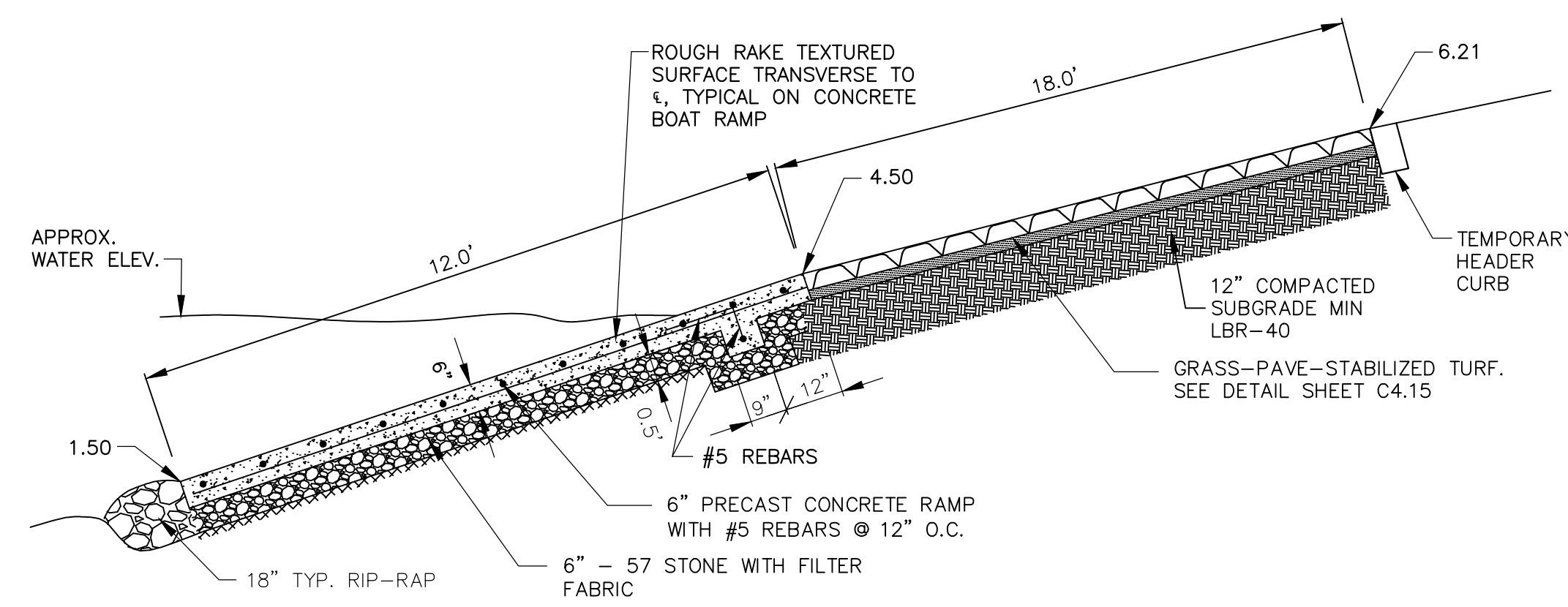
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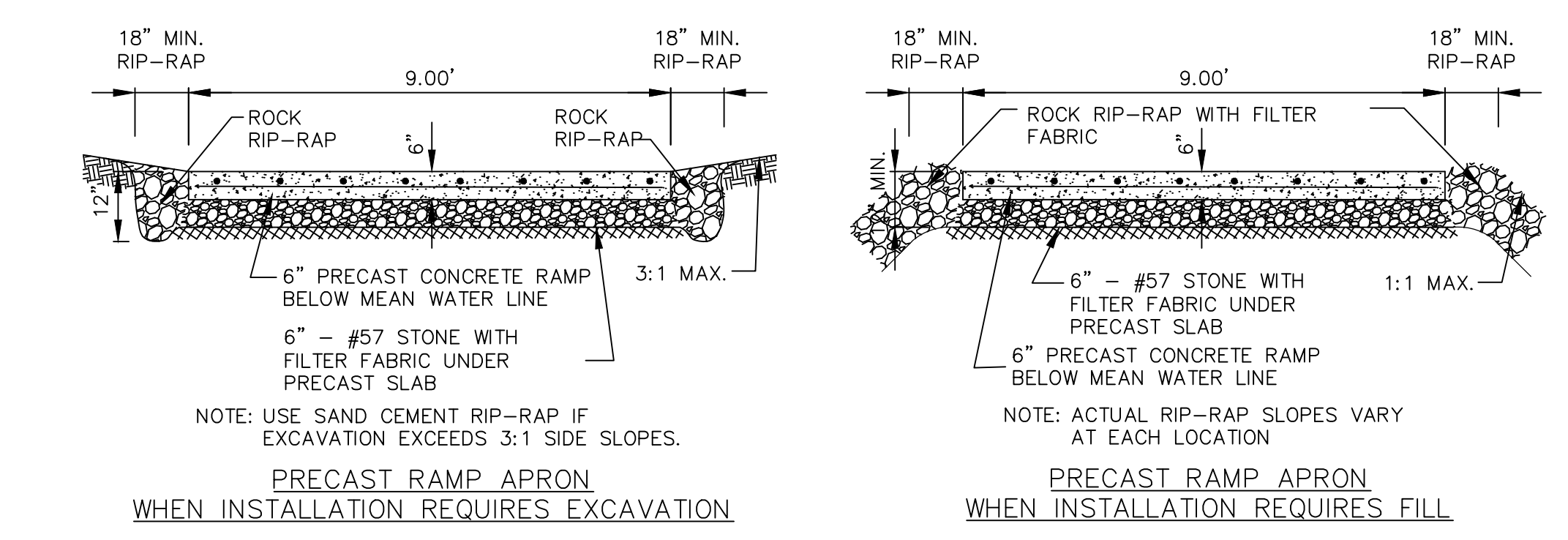
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 SUNRISE, FL 33351

BOAT RAMP BLOW UP

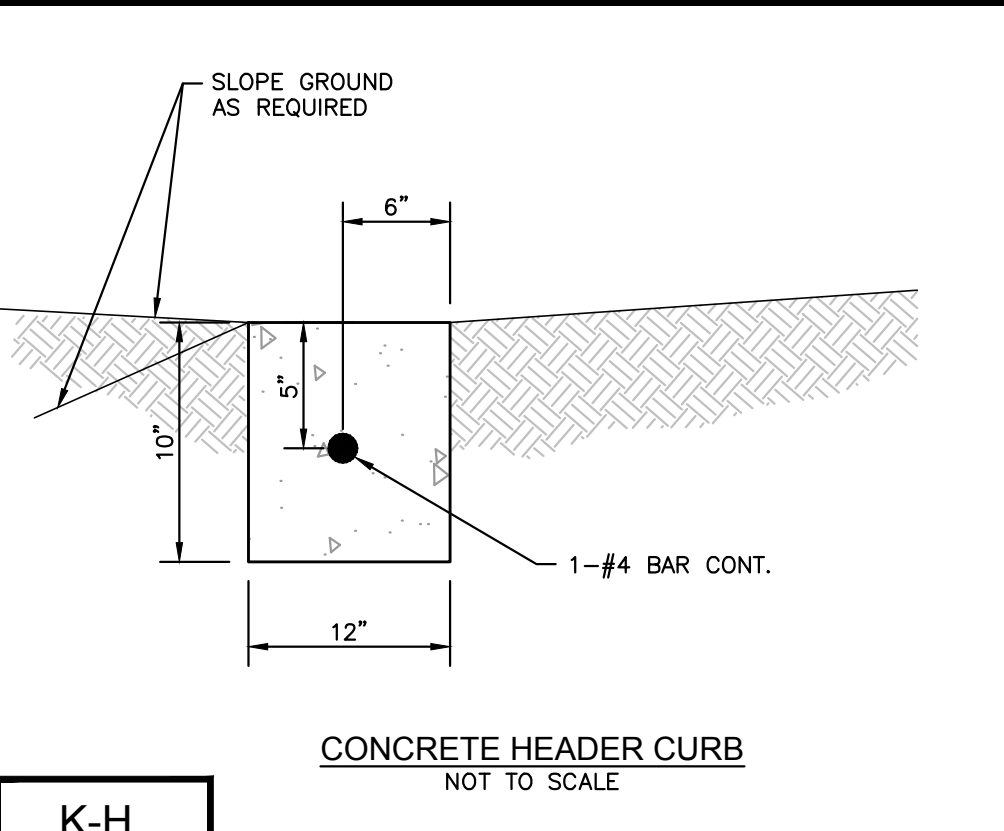
SEAL	DATE:
LICENSED PROFESSIONAL	JULY 24, 2020
ERIC S. GREENE, P.E.	DRAWING NO.
FL LICENSE NUMBER 81744	C4.14
DATE: 3/13/20	



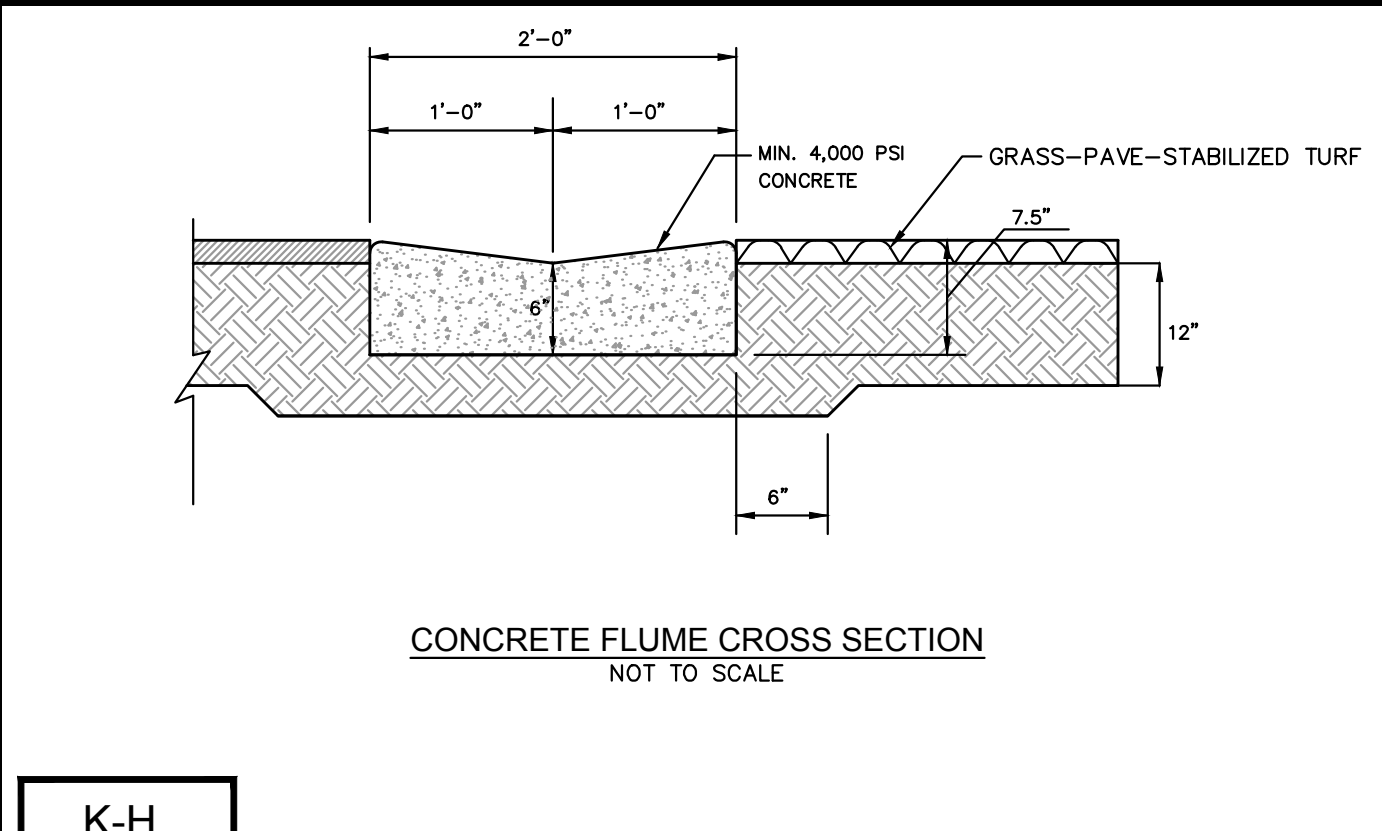
'A' - 'A' TYPICAL BOAT RAMP SECTION SCALE: N.T.S.



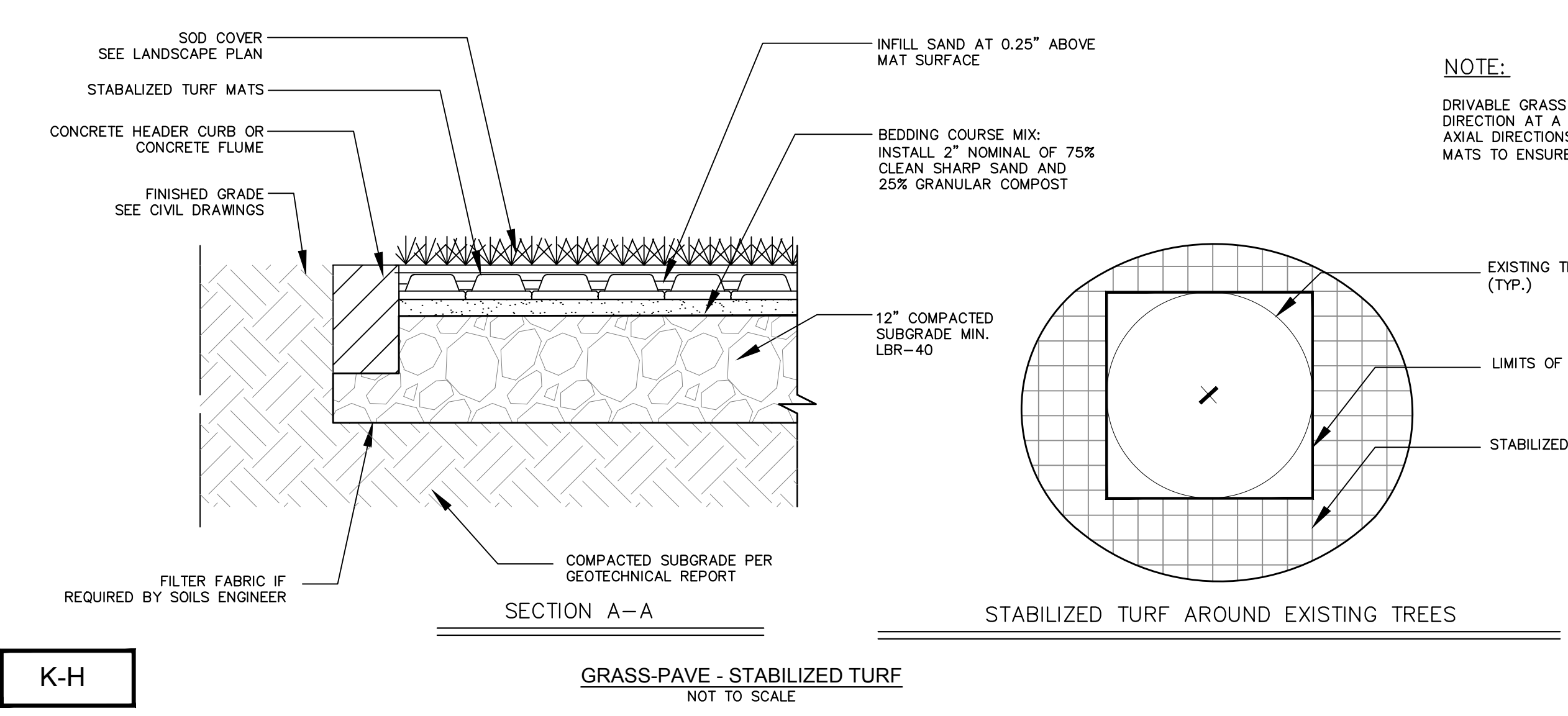
'B' - 'B' BOAT RAMP SECTION BELOW WATER SCALE: N.T.S.



K-H CONCRETE HEADER CURB NOT TO SCALE

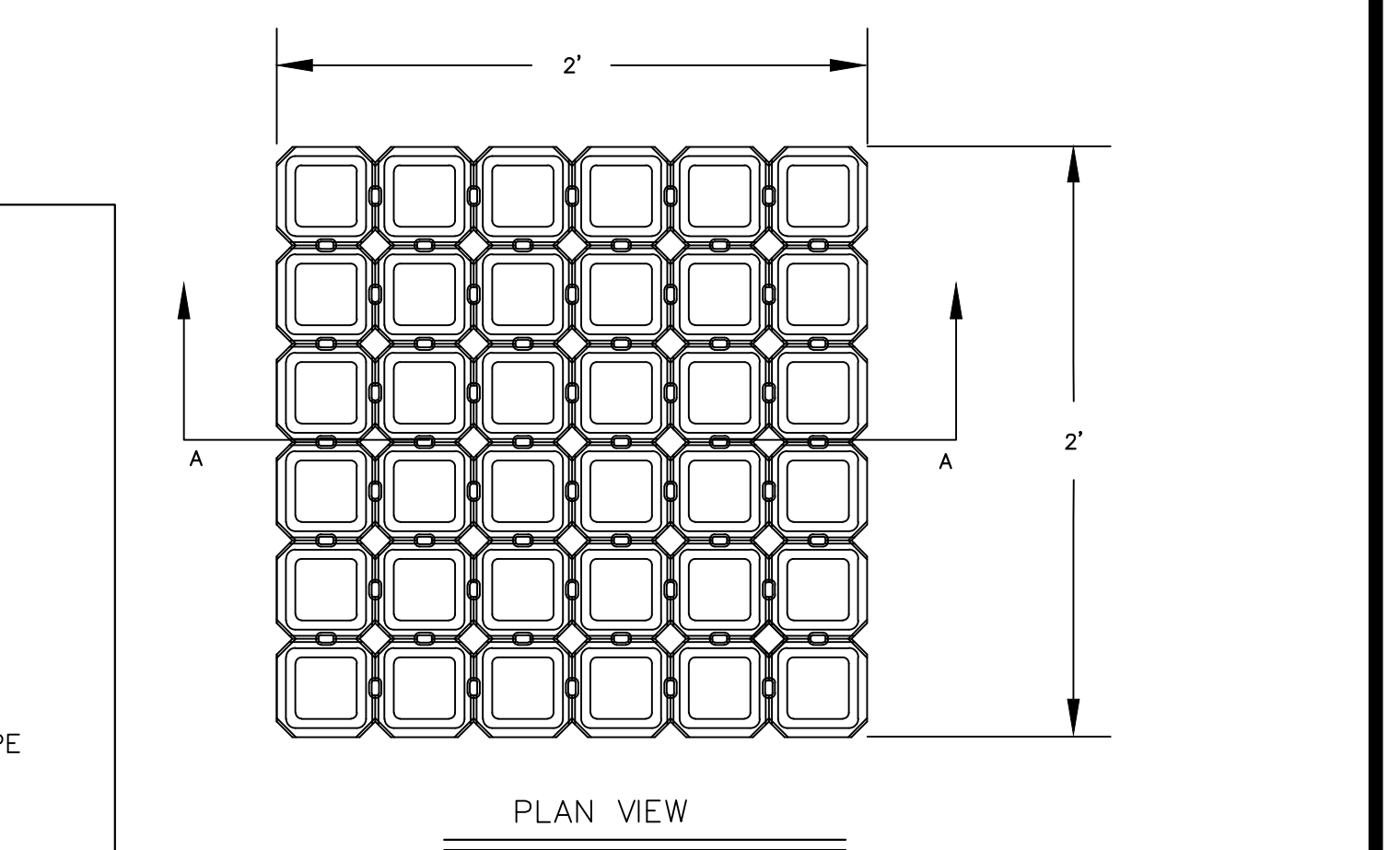
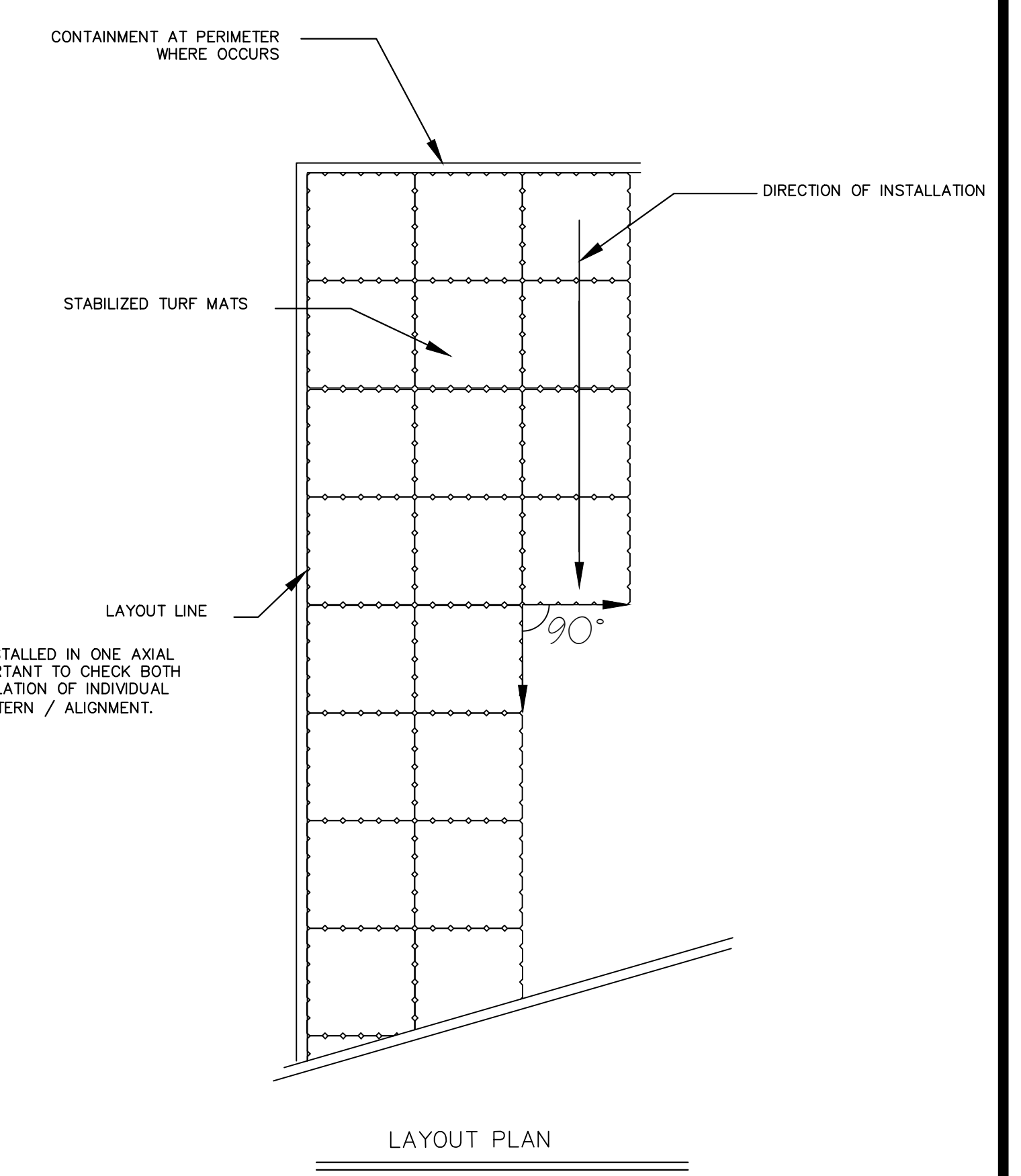


K-H CONCRETE FLUME CROSS SECTION NOT TO SCALE



K-H SECTION A-A

K-H STABILIZED TURF AROUND EXISTING TREES NOT TO SCALE



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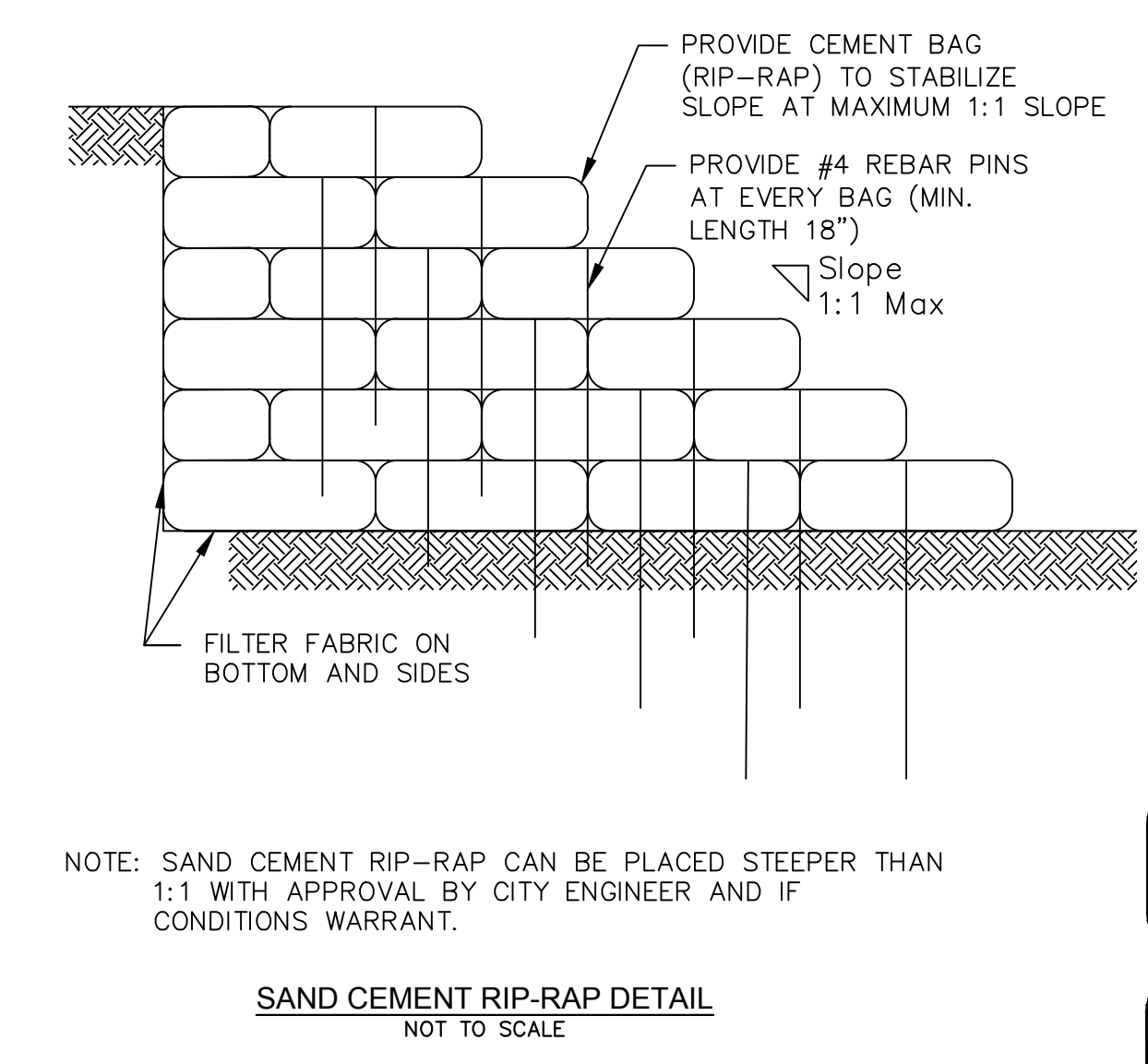
SUNSHINE STATE ONE CALL OF FLORIDA, INC.

- BOAT RAMP NOTES:**
1. THE PRECAST BOAT RAMP SHALL BE MINIMUM 9.67' WIDE WITH #5 REINFORCING BARS @ 12" O.C.E.W. AND REINFORCING BARS SHALL EXTEND 12" BEYOND THE PRECAST STRUCTURE, CONCRETE SHALL BE MINIMUM 5,000 PSI AT 28 DAYS.
 2. CONTRACTOR SHALL SUBMIT SIGNED AND SEALED SHOP DRAWINGS FOR THE PRE-CAST BOAT RAMP TO THE EOR AND CITY OF SUNRISE FOR APPROVAL PRIOR TO CONSTRUCTION.
 3. CONTRACTOR SHALL VERIFY TOPOGRAPHIC SURVEY INFORMATION OF BANK AND SUBAQUEOUS SURFACE TO ENSURE CONSTRUCTABILITY.
 4. CONCRETE FOR THE APRON SHALL BE FIBER REINFORCED AND A MINIMUM OF 4000 PSI AT 28-DAYS.
 5. END OF BOAT RAMP SHALL EXTEND A MINIMUM OF 3 FEET VERTICAL BELOW MEAN WATER LINE AS SHOWN IN THE DETAILS.
 6. A ROUGH, RAKED FINISH SHALL BE APPLIED TO THE CAST IN PLACE SECTION IN A TRANSVERSE DIRECTION TO THE AXIS OF THE RAMP. TEXTURE TO BE APPROVED BY THE CITY.
 7. RIP-RAP BELOW THE WATER LINE SHALL BE 4" TO 12" DIA. NATURAL ROCK RIP-RAP TO BE PLACED ALONG THE SIDES OF THE RAMP SUBSEQUENT TO PLACEMENT OF THE APRON SEGMENT. FILTER FABRIC TO BE PLACED BENEATH RIP-RAP, CONTINUOUS WITH THE 3/4" WASH ROCK PLACED BENEATH THE RAMP.
 8. RIP-RAP ABOVE THE WATER LINE SHALL BE SAND CEMENT RIP-RAP PLACED ALONG THE SIDES OF THE RAMP AND ALONG THE CANAL BANK AS INDICATED IN THE PLANS. FILTER FABRIC SHALL BE PLACED PRIOR TO INSTALLATION. BAGS SHALL BE STAKED AS SHOWN IN DETAIL.

K-H

NOTE: DETAILS ARE INCLUDED FROM THE ENTITIES LISTED BELOW AND ARE PROVIDED FOR INFORMATIONAL PURPOSES ONLY. CONTRACTOR SHALL OBTAIN AND CONFORM WITH THE LATEST STANDARDS AND DETAILS. THESE ARE NOT CITY OF SUNRISE DETAILS

- NOT CITY DETAILS**
- K-H** KIMLEY-HORN AND ASSOCIATES DETAIL
 - FDOT** FLORIDA DEPARTMENT OF TRANSPORTATION DETAIL



K-H SAND CEMENT RIP-RAP DETAIL NOT TO SCALE

THE PRESENCE OF GROUNDWATER SHOULD BE ANTICIPATED ON THIS PROJECT. CONTRACTOR'S BID SHALL INCLUDE CONSIDERATION FOR ADDRESSING THIS ISSUE.

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BOAT RAMP DETAILS

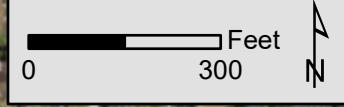
09/08/2020

SEAL
LICENSED PROFESSIONAL

DATE: **JULY 24, 2020**

ERIC S. GREENE, P.E.
FL LICENSE NUMBER 81744
DATE: 7/13/20

DRAWING NO. **C4.15**



Legend

- Project Site
- Wetlands and Surface Waters**
- Wetlands (± 0.30 ac.)
- Surface Waters (± 3.08 ac.)

Source: ESRI, KHA

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445 24th Street, Suite 200, Vero Beach, FL 32960
Phone (772) 794-4100
www.kimley-horn.com

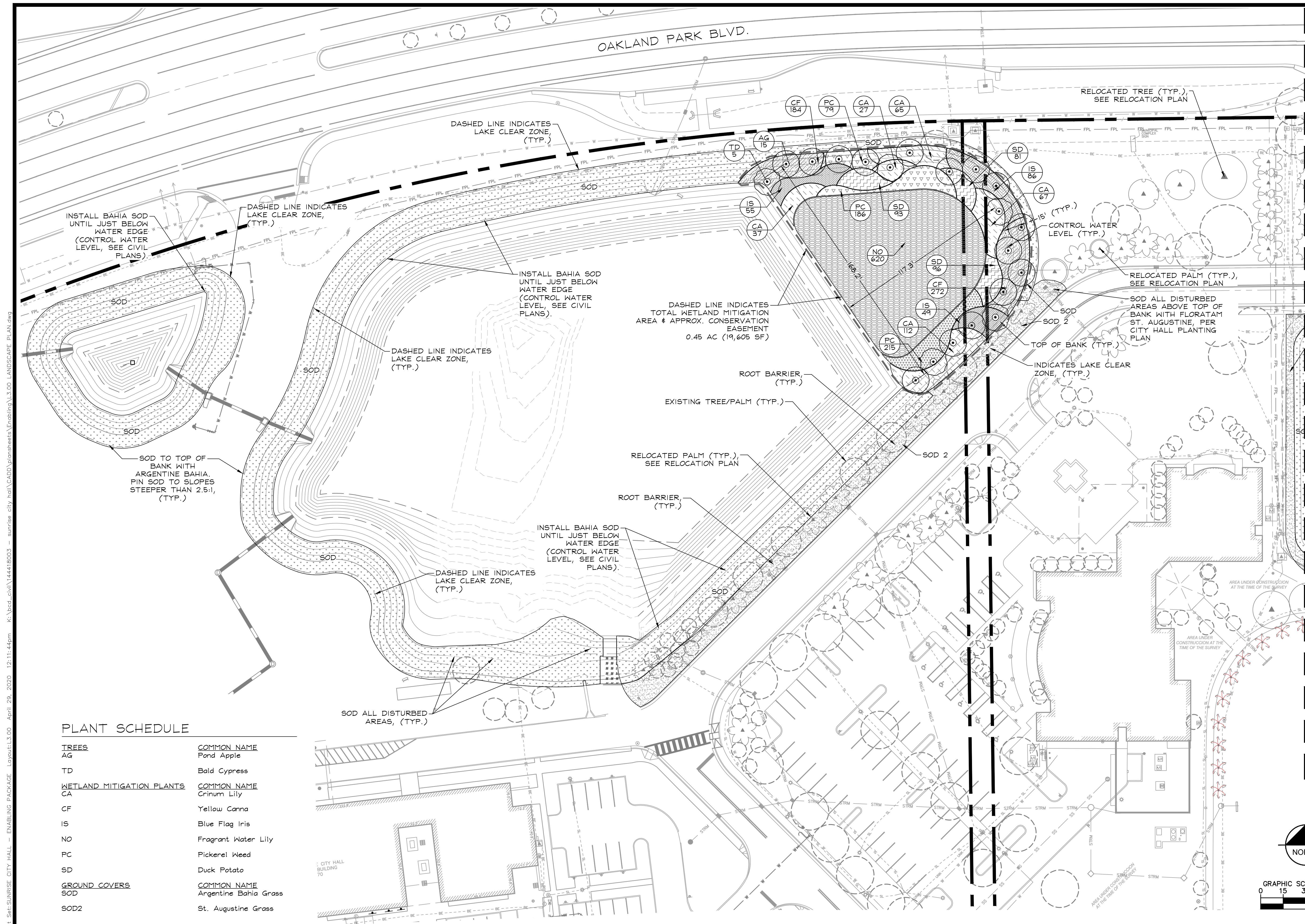
Wetland and Surface Water Map
City of Sunrise City Hall
10770 W. Oakland Park Blvd
Sunrise, Broward County, Florida

1 inch = 300 feet

PROJECT NUMBER: 144418003

MARCH 2020

FIGURE 5



PLANT SCHEDULE

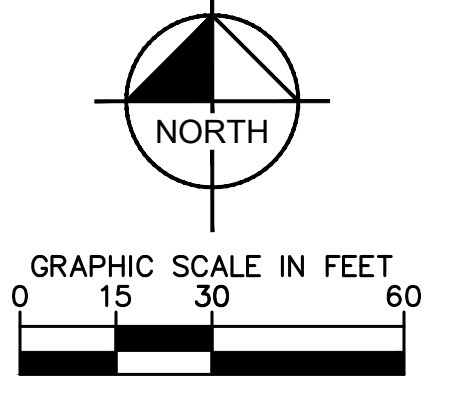
TREES	COMMON NAME
AG	Pond Apple
TD	Bald Cypress
WETLAND MITIGATION PLANTS	COMMON NAME
CA	Crinum Lily
CF	Yellow Canna
IS	Blue Flag Iris
NO	Fragrant Water Lily
PC	Pickeral Nlead
SD	Duck Potato
GROUND COVERS	COMMON NAME
SOD	Argentine Bahia Grass
SOD2	St. Augustine Grass

MATCHLINE - SEE SHEET #####

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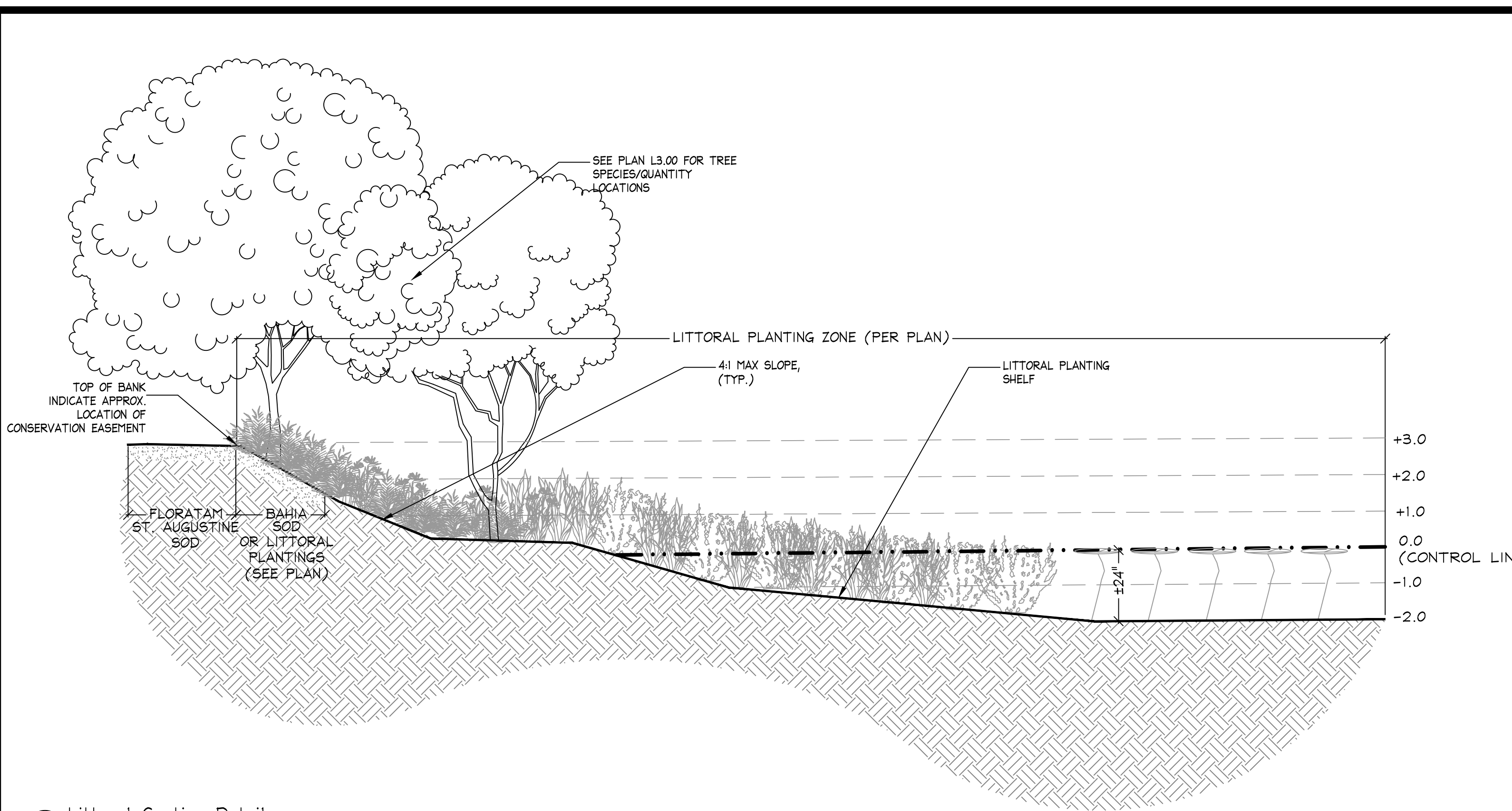
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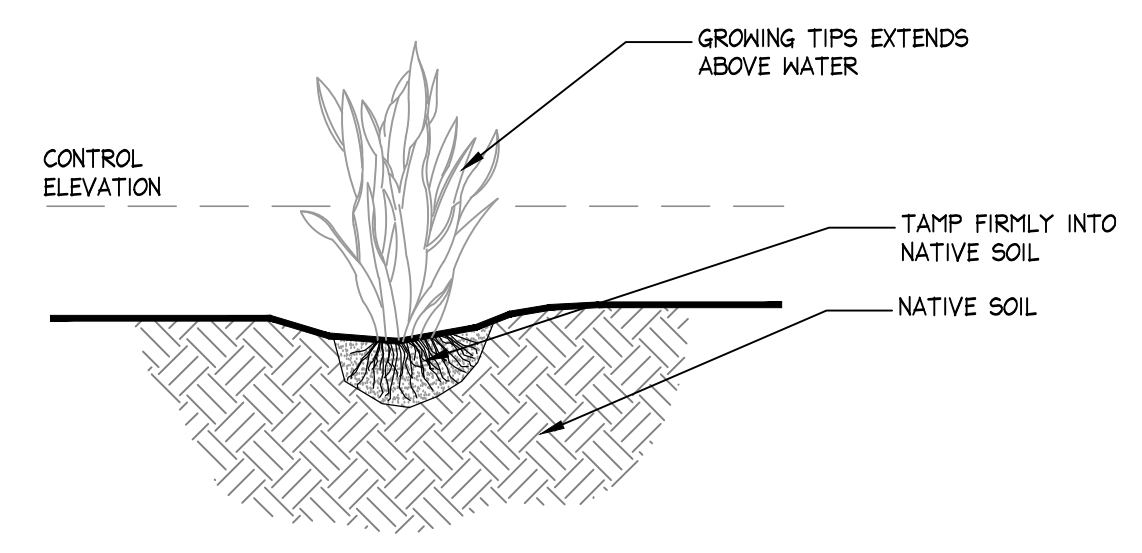
LANDSCAPE PLAN

SEAL LICENSED PROFESSIONAL	DATE: MARCH 13, 2020
JONATHAN D. HAIGH, PLA FL LICENSE NUMBER LA#6666795	DRAWING NO. L3.00
DATE: 4/29/2020	

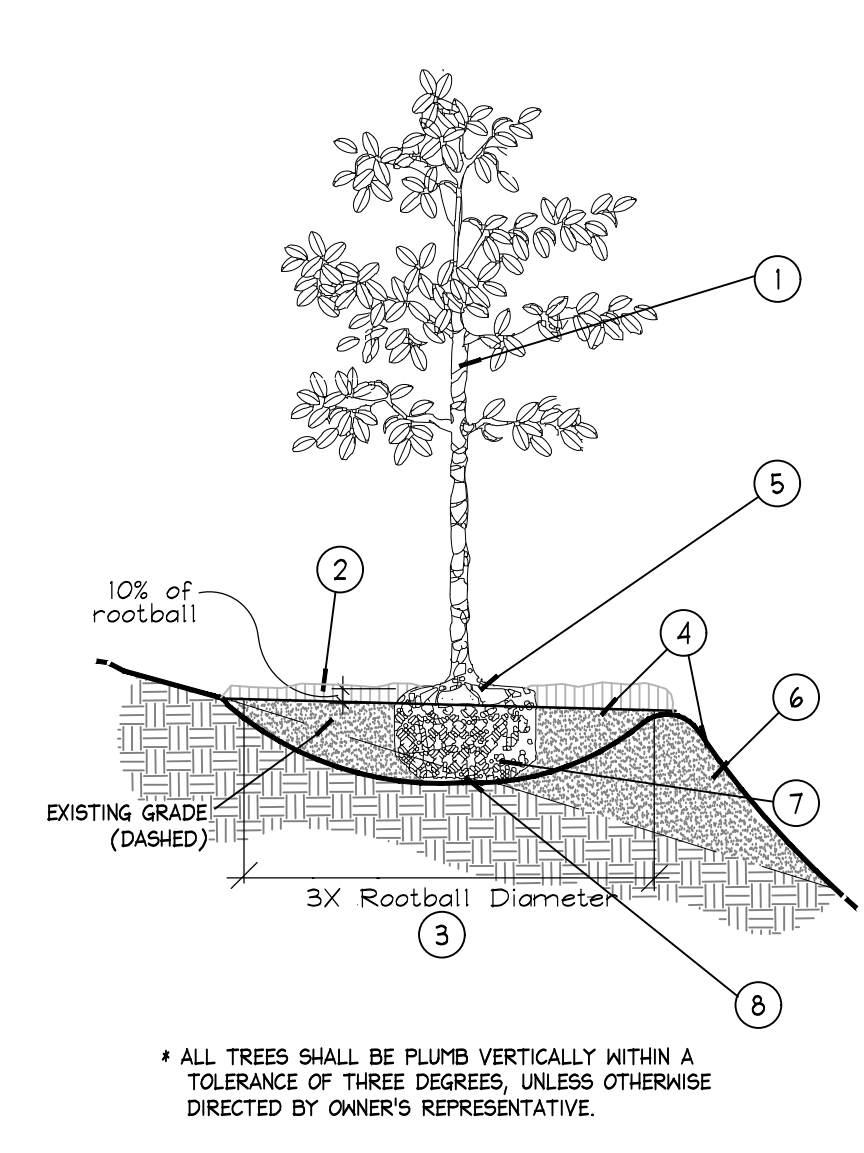
Plotted By: Hargrett, Tom Sheet: Sht: SUNRISE CITY HALL - ENABLING PACKAGE Layout: L3.00 April 29, 2020 12:11:44pm K:\bdc_civil\144418003 - sunrise city hall\CADD\plansheets\Enabling\L3.00 LANDSCAPE PLAN.dwg



A Littoral Section Detail
SECTION



B Littoral Planting Detail

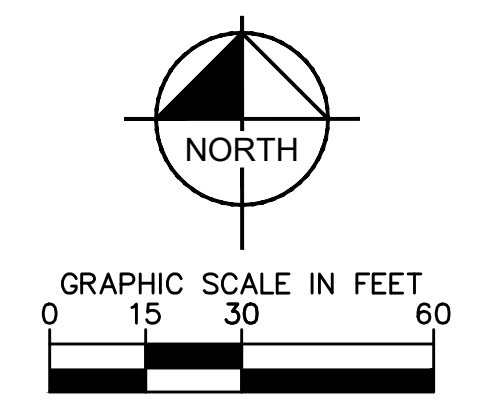
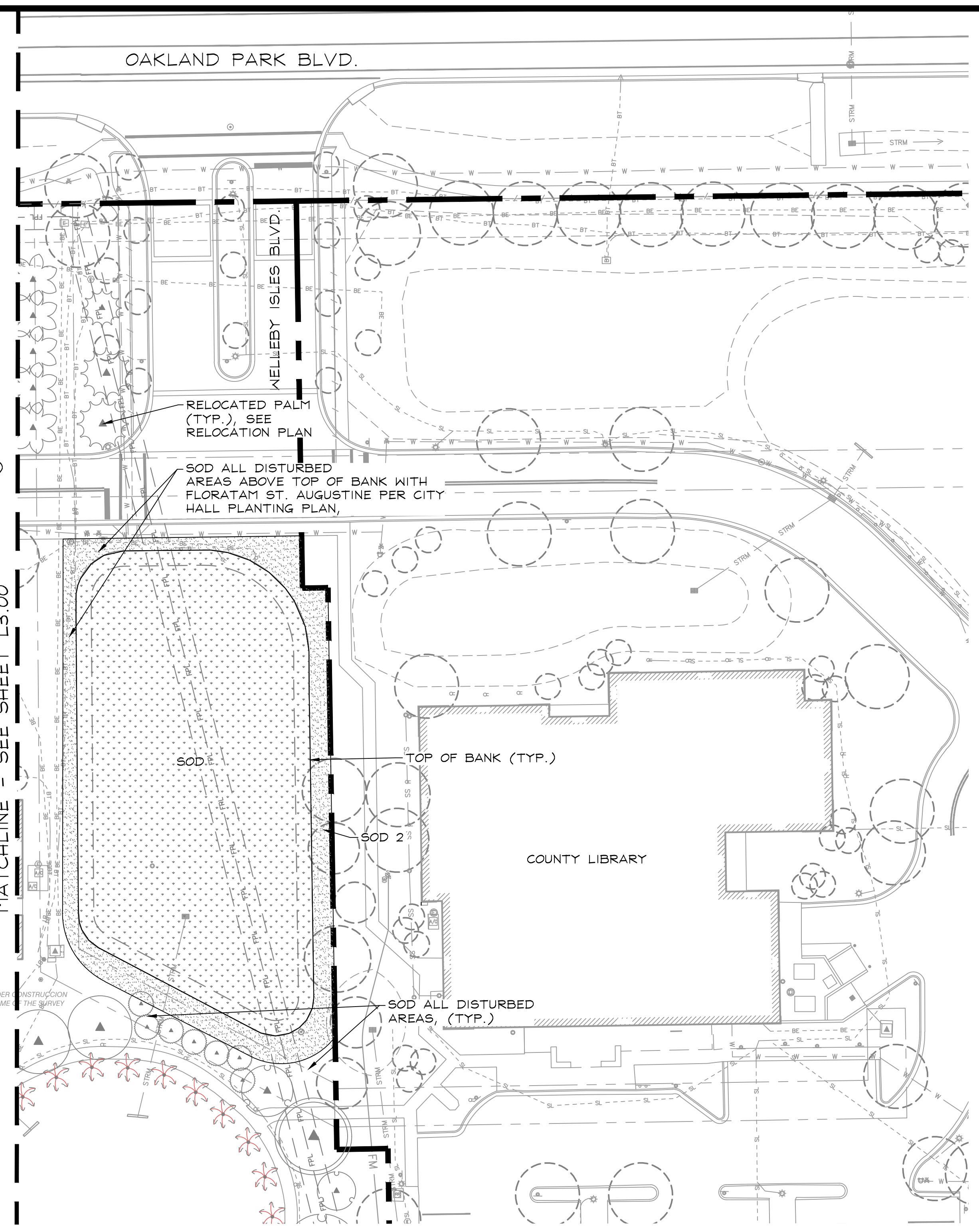


C Planting on a Slope
SECTION

1. TREES, PALMS, AND LARGE SHRUBS (5 GAL OR GREATER) SHALL BE PLANTED IN SIMILAR MANNER
 2. 3" MINIMUM OF MULCH AS SPECIFIED. WHERE TREES ARE PLACED IN SOD, MULCH RING FOR TREES COVER ROOTBALL SIDES AND EXTEND 18" BEYOND ON ALL SIDES. NO MULCH SHALL BE PLACED OVER TRUNK.
 3. SHALLOW WIDE PLANT HOLE TOP SHALL BE 3X THE SIZE OF ROOTBALL.
 4. FINISHED GRADE - LANDSCAPE SOIL
 5. FIND TOP-MOST ROOT ON ROOTBALL; POSITION ROOTBALL SO THIS TOP ROOT IS 1-2" ABOVE LANDSCAPE SOIL. (APPROX. 10% OF ROOTBALL SHALL BE ABOVE LANDSCAPE SOIL)
 6. BERM SOIL SO THAT TOP OF BERM IS JUST BELOW THE TOP 10% OF THE TOP OF THE ROOTBALL. SLOPE DOWNHILL PORTION OF BERM AS REQUIRED TO MEET EXISTING GRADE.
 7. B 4 B OR CONTAINER REMOVE ALL SYNTHETIC MATERIALS FROM ROOTBALL (SEE SPECIFICATIONS FOR OTHER ROOT BALL REQUIREMENTS)
 8. ROOTBALLS SHALL BE PLACED ON UNDISTURBED SOIL TO PREVENT SETTLING.
- NOTES:**
 A. CONTRACTOR SHALL ASSURE PERCOLATION OF ALL PLANTING PITS PRIOR TO INSTALLATION.
 B. FINAL TREE STAKING DETAILS AND PLACEMENT TO BE APPROVED BY OWNER.
 C. SEE PRE-APPROVED STAKING METHODS, THIS SHEET

PLANT SCHEDULE

TREES	BOTANICAL NAME	COMMON NAME	CONT	CAL	SIZE	NATIVE	DROUGHT TOL.	QTY
AG	<i>Annona glabra</i>	Pond Apple	45 gal	2.5" Cal.	10' HT X 5' SPR	Yes	High	15
TD	<i>Taxodium distichum</i>	Bald Cypress	F.G.	3" Cal.	12' HT x 5' SPR	Yes	High	5
WETLAND MITIGATION PLANTS								
	BOTANICAL NAME	COMMON NAME	CONT	O.C.	SIZE	NATIVE	DROUGHT TOL.	QTY
CA	<i>Crinum americanum</i>	Crinum Lily	Liner	36" O.C.		Yes	High	308
CF	<i>Canna flaccida</i>	Yellow Canna	Liner	24" O.C.		Yes	No	456
IS	<i>Iris hexagona</i>	Blue Flag Iris	B.R.	36" O.C.		No	No	190
NO	<i>Nymphaea odorata</i>	Fragrant Water Lily	B.R.	48" O.C.		Yes	No	620
PC	<i>Pontederia cordata</i>	Pickereel Weed	B.R.	24" O.C.		Yes	No	480
SD	<i>Sagittaria lancifolia</i>	Duck Potato	B.R.	24" O.C.		Yes	No	270
GROUND COVERS								
	BOTANICAL NAME	COMMON NAME	CONT	O.C.	SIZE	NATIVE	DROUGHT TOL.	QTY
SOD	<i>Paspalum notatum</i> 'Argentine'	Argentine Bahia Grass	Sod					±47,338 sf
SOD2	<i>Stenotaphrum secundatum</i> 'Floritam'	St. Augustine Grass	sod					±9,438 sf



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SUNRISE CITY HALL - ENABLING PACKAGE
10770 W. OAKLAND PARK BOULEVARD
SUNRISE, FL 33351

LANDSCAPE PLAN

SEAL
LICENSED PROFESSIONAL

DATE:
OCT. 2020

JONATHAN D. HAIGH, PLA

FL LICENSE NUMBER
LA#6666795

DATE: 10/22/2020

DRAWING NO.
L3.01

**PART I – Qualitative Description
(See Section 62-345.400, F.A.C.)**

Site/Project Name City of Sunrise City Hall		Application Number	Assessment Area Name or Number Wetland A
FLUCCs code 641	Further classification (optional) Freshwater Marshes	Impact or Mitigation Site? Impact	Assessment Area Size 0.30 ac.
Basin/Watershed Name/Number Middle River Canal (30)	Affected Waterbody (Class) Class III	Special Classification (i.e.OFW, AP, other local/state/federal designation of importance) N/A	
Geographic relationship to and hydrologic connection with wetlands, other surface water, uplands A surface water pond is located to the east of the wetland. No other connection exists to off-site wetlands or surface waters			
Assessment area description Wetland A consists of a herbaceous wetland littoral zone on the western edge of a surface water pond located on-site. This wetland was created in 1993 as a mitigation area associated with the construction of the City of Sunrise Civic and Cultural Center.			
Significant nearby features The project is surrounded by development, roadways, and the City of Sunrise municipal complex on all sides.		Uniqueness (considering the relative rarity in relation to the regional The wetland is typical of created wetlands that are common in the region.	
Functions Water quality and conveyance. Potential foraging habitat for wading birds.		Mitigation for previous permit/other historic use Wetland served as compensatory mitigation for Broward ERL# DF93-1025	
Anticipated Wildlife Utilization Based on Literature Review (List of species that are representative of the assessment area and reasonably expected to See "Anticipated Utilization by Listed Species" and "Observed Evidence of Wildlife Utilization"		Anticipated Utilization by Listed Species (List species, their legal classification (E, T, SSC), type of use, and intensity of use of the Wood stork (FT) and state listed wading birds (ST) - foraging	
Observed Evidence of Wildlife Utilization (List species directly observed, or other signs such as tracks, droppings, casings, nests, etc.): Wildlife observed on-site included eastern gray squirrel (Sciurus carolinensis), muscovy ducks (Cairina moschata), blue jay (Cyanocitta cristata), eastern phoebe (Sayornis phoebe), and common brown basilisk (Basiliscus vittatus).			
Additional relevant factors:			
Assessment conducted by: TB/FS		Assessment date(s): 10/17/2019	

PART II – Quantification of Assessment Area (impact or mitigation)
(See Sections 62-345.500 and .600, F.A.C.)

Site/Project Name City of Sunrise City Hall	Application Number	Assessment Area Name or Number Wetland A
Impact or Mitigation Impact	Assessment conducted by: TB/FS	Assessment date: 10/17/2019

Scoring Guidance
The scoring of each indicator is based on what would be suitable for the type of wetland or surface water assessed

Optimal (10)	Moderate(7)	Minimal (4)	Not Present (0)
Condition is optimal and fully supports wetland/surface water functions	Condition is less than optimal, but sufficient to maintain most wetland/surface waterfunctions	Minimal level of support of wetland/surface water functions	Condition is insufficient to provide wetland/surface water functions

.500(6)(a) Location and Landscape Support w/o pres or current 6 with 0	The City of Sunrise Civic Center borders the site to the south and east, with roads and residential developments bordering the site to the north and west.
.500(6)(b)Water Environment (n/a for uplands) w/o pres or current 6 with 0	Water environment is consistent with a freshwater marsh, water levels and soil moisture are appropriate and evidence of soil erosion was low. Wetland receives runoff from road and landscape area. Contaminants present in this runoff, such as fertilizer, grass clippings, and automotive fluids, could degrade water quality in the wetland.
.500(6)(c)Community structure 1. Vegetation and/or 2. Benthic Community w/o pres or current 9 with 0	Vegetative community structure within the wetland was excellent, with a diverse array of native wetland vegetation present such as arrowhead (<i>Sagittaria lancifolia</i>), crinum lily (<i>Crinum americanum</i>), pickerelweed (<i>Pontederia cordata</i>), giant bulrush (<i>Schoenoplectus californicus</i>), pond apple (<i>Annona glabra</i>), virginia chainfern (<i>Woodwardia virginica</i>), and red maple (<i>Acer rubrum</i>). Exotic vegetation, such as Brazilian pepper (<i>Schinus terebinthifolius</i>) and Peruvian primrose willow (<i>Ludwigia peruviana</i>) was present, albeit in limited quantities.

Score = sum of above scores/30 (if uplands, divide by 20) current 0.70 or w/o pres with 0
--

If preservation as mitigation, Preservation adjustment factor = Adjusted mitigation delta =

For impact assessment areas FL = delta x acres = 0.70 x 0.30 = 0.21
--

Delta = [with-current] -0.7

If mitigation Time lag (t-factor) = Risk factor =

For mitigation assessment areas RFG = delta/(t-factor x risk) =
--

**PART I – Qualitative Description
(See Section 62-345.400, F.A.C.)**

Site/Project Name City of Sunrise City Hall		Application Number		Assessment Area Name or Number Wetland B	
FLUCCs code 641		Further classification (optional) Freshwater Marshes		Impact or Mitigation Site? Mitigation	
Assessment Area Size 0.45 ac.		Basin/Watershed Name/Number Middle River Canal (30)		Affected Waterbody (Class) Class III	
				Special Classification (i.e.OFW, AP, other local/state/federal designation of importance) N/A	
Geographic relationship to and hydrologic connection with wetlands, other surface water, uplands Wetland will be hydrologically connected to a proposed stormwater pond on-site.					
Assessment area description Wetland B will consist of a herbaceous wetland littoral area along the northeastern edge of a surface water pond located on-site. The area immediately surrounding the wetland will consist of a stormwater pond and upland landscaping.					
Significant nearby features The area will be surrounded by roadways and the City of Sunrise municipal complex on all sides, with a stormwater pond bordering the southwestern edge of the wetland.			Uniqueness (considering the relative rarity in relation to the regional The wetland will be typical of created wetlands that are common in the region.		
Functions Water quality and conveyance. Potential foraging habitat for wading birds.			Mitigation for previous permit/other historic use N/A		
Anticipated Wildlife Utilization Based on Literature Review (List of species that are representative of the assessment area and reasonably expected to See "Anticipated Utilization by Listed Species"			Anticipated Utilization by Listed Species (List species, their legal classification (E, T, SSC), type of use, and intensity of use of the Wood stork (FT) and state listed wading birds (ST) - foraging		
Observed Evidence of Wildlife Utilization (List species directly observed, or other signs such as tracks, droppings, casings, nests, etc.): N/A					
Additional relevant factors: Pre-application meeting held with Broward County. Mitigation success criteria will be established during permitting with Broward County. This mitigation area will replace an existing mitigation area on-site, which is proposed to be removed.					
Assessment conducted by: TB/FS			Assessment date(s): 12/6/2019		

PART II – Quantification of Assessment Area (impact or mitigation)
(See Sections 62-345.500 and .600, F.A.C.)

Site/Project Name City of Sunrise City Hall	Application Number	Assessment Area Name or Number Wetland B
Impact or Mitigation Impact	Assessment conducted by: TB/FS	Assessment date: 10/17/2019

Scoring Guidance
The scoring of each indicator is based on what would be suitable for the type of wetland or surface water assessed

Optimal (10)	Moderate(7)	Minimal (4)	Not Present (0)
Condition is optimal and fully supports wetland/surface water functions	Condition is less than optimal, but sufficient to maintain most wetland/surface waterfunctions	Minimal level of support of wetland/surface water functions	Condition is insufficient to provide wetland/surface water functions

.500(6)(a) Location and Landscape Support	The City of Sunrise Civic Center borders the site to the south and east, with roads and residential developments bordering the site to the north and west. Adjacent surface water will be connected to the on-site stormwater management system. Unlike the wetland being impacted, this wetland will not be linear-shaped and instead will be more rounded. This is more typical of a naturally occurring freshwater marsh. Therefore the landscape support will be higher.
w/o pres or current	with
0	8

.500(6)(b)Water Environment (n/a for uplands)	Water environment will be maintained to be consistent with a freshwater marsh, with appropriate water levels and soil moisture. Wetland would likely receive runoff from road and landscaped area due to its location. Contaminants present in this runoff, such as fertilizer, grass clippings, and automotive fluids, could degrade water quality in the wetland. Wetland hydrology will be monitored as a part of monitoring and maintenance obligations associated with the project's Environmental Resource License (ERL) from Broward County.
w/o pres or current	with
0	6

.500(6)(c)Community structure	Vegetative community structure within the proposed wetland will replicate the conditions of the existing wetland, with a diverse array of native wetland vegetation present such as pond apple (<i>Annona glabra</i>), bald cypress (<i>Taxodium distichum</i>), duck potato (<i>Sagittaria lancifolia</i>), crinum lily (<i>Crinum americanum</i>), pickerelweed (<i>Pontederia cordata</i>), yellow canna (<i>Canna flaccida</i>), blue flag iris (<i>Iris hexagona</i>), and fragrant water lily (<i>Nymphaea odorata</i>).
1. Vegetation and/or 2. Benthic Community	
w/o pres or current	with
0	9

Score = sum of above scores/30 (if uplands, divide by 20)	
current	
or w/o pres	
with	
0.00	0.76667

If preservation as mitigation,
Preservation adjustment factor =
Adjusted mitigation delta =

For impact assessment areas
FL = delta x acres =

Delta = [with-current]
0.77

If mitigation
Time lag (t-factor) = 1.07
Risk factor = 1.5

For mitigation assessment areas
RFG = delta/(t-factor x risk) = 0.48

0.48 * 0.45 = 0.22

**WETLAND MITIGATION PLAN
Sunrise City Hall
Broward County, FL
ERL Submittal
April 2020**

The following mitigation plan is provided in association with a project known by Broward County as DF93-1025 (City of Sunrise Civic Center). This project is located at 10770 W. Oakland Park Boulevard within the City of Sunrise, FL. The proposed project would result in the excavation of a 0.30-acre herbaceous wetland in order to expand the capacity of a stormwater pond on-site.

Wetland Evaluation

The site is comprised of a municipal and civic center, with associated parking and stormwater management features. A 0.30-acre freshwater marsh exists on the western edge of a stormwater pond located on-site.

The locations of the wetlands and surface waters are depicted on the previously submitted, **Figure 5 - Wetland and Surface Water Map**.

Proposed Impacts and Mitigation

The proposed site plan will result in unavoidable direct impacts to 0.30 acres of jurisdictional wetlands (**Table 1**). The location of the proposed wetland impact areas is shown on the Wetland Overlay Exhibit, which is included with this plan.

Table 1 – Sunrise City Hall Wetland Impacts					
Impact Area	Impact Acreage	UMAM Score	Delta	Functional loss	Mitigation Acreage Required
Wetland A	0.3	0.7	0.70	-0.21	0.45

As compensatory mitigation for proposed direct impacts to 0.30 acres of herbaceous wetlands, the applicant proposes to create approximately 0.45 acres of herbaceous wetlands with the planting of forested and herbaceous wetland plant species in a large littoral zone bordering a stormwater pond to be excavated on-site (**Table 2**).

Required mitigation acreage was determined based on the guidelines outlined in Chapter 62-345-Uniform Mitigation Assessment Method of the Florida Administrative Code.

Table 2 – Herbaceous/Forested Wetland Mitigation							
Mitigation Area	Acreage	Lag	Risk	Delta	RFG	Preservation Adjustment Factor	Functional Gain
WL-B	0.45	1.07	1.5	0.7	0.43	N/A	0.22

Mitigation Summary

Based on the on-site creation of the freshwater marsh with some forested species as well, the applicant’s mitigation proposal offsets all functional loss from the proposed impacts as shown in **Table 3** below.

Table 3 – Mitigation Summary		
Activity Type	Acreage	Functional Gain/Loss
Herbaceous Wetland Impact	0.30	-0.21
Herbaceous Wetland Creation	0.45	+0.22

Mitigation Plans

The proposed mitigation plan consists of creating a partially forested and partially herbaceous wetland with a variety of water depths. These areas will then be planted with a variety of wetland plant species such as pond apple, bald cypress, crinum lily, yellow canna, blue flag iris, fragrant water lily, pickerel weed, and duck potato. The mitigation plan is attached (**Landscape Plan, Sheet L3.00-L3.01**).

Mitigation Methodology

The following steps will be followed for construction of the creation area:

- Scrape mitigation area as shown on the Mitigation Plan
- Regrade mitigation area to those elevations specified in the mitigation plan
- Add a 12-inch layer of muck to the bottom contour of the mitigation creation area
- Schedule a meeting with Broward County staff to review elevations prior to installation of plants
- Once elevation approved by Broward County staff, install plants as specified in the Mitigation Plan
- Install staff gauge and establish permanent photo stations during Time-Zero Monitoring event

Monitoring and Maintenance Plan

Time-Zero Monitoring – The time-zero monitoring event will be conducted within 60 days of wetland plant installation. Square meter quadrats will be established during this monitoring event to evaluate vegetation type, percent cover and to quantify the time-zero conditions. Photo station locations will also be established to show representative portions of the mitigation area.

Subsequent Monitoring – Following time-zero monitoring, the creation area will be monitored quarterly for 5 years or until the success criteria, as discussed below, is met. Annual monitoring reports will be submitted. The square meter quadrats established during the time-zero monitoring event will be used to document the following:

- Vegetative species present and percent cover
- Percent survival of planted and relocated plant material
- Water level measurements
- Qualitative assessment of plant health

Invasive species may be removed manually or by approved herbicide treatment. The maintenance contractor will be responsible for obtaining all applicable permits prior to any application of herbicides in the mitigation areas. If herbicides are used for control of invasive species, a wicking method will be employed to avoid overspray and/or killing of existing native vegetation.

Maintenance and Monitoring of Mitigation Areas

Maintenance will be conducted in perpetuity to ensure that the wetlands are free of trash and debris as well as exotic vegetation. Exotic plant species will be removed in accordance with state and federal requirements/practices and trash will be removed periodically if it threatens the integrity of the mitigation area. The project will be maintained by the permittee in a condition sufficient to meet all final success criteria in perpetuity.

The wetland mitigation area will be monitored for a period of five years. Instead of utilizing established transects for monitoring, established square meter quadrats will be used. Figure 1 shows the proposed location of square meter quadrats. Monitoring of the wetland area will ensure success of the mitigation activities. A permanent staff gauge will be installed. A time-zero monitoring event will be conducted within 60 days following plant installation. Monitoring will occur on a quarterly basis post-construction and will include vegetative sampling along establish square meter quadrats. Representative photographs, including panoramic photographs, will be taken during monitoring events, percent cover will be noted for planted species, and fish and wildlife usage will be noted. Monitoring reports will be submitted annually.

Estimated dates for completion of permit activities are as follows:

Activity	Due Date	Approx. Date
Record Conservation Easement	60 days after permit issuance	August 2020
Commence Grading of Mitigation Area	Within 45 days of award of bid	October 2020
Site Visit by Broward County to Verify Elevations	Within 14 days of final grading	November 2020
Installation of Plants	After final grading, prior to start of wet season	January 2021
Time-Zero Monitoring Report	2 months after plant installation	March 2021

First Monitoring Report	1 year after time-zero monitoring	March 2022
Second Monitoring Report	2 years after time-zero monitoring	March 2023
Third Monitoring Report	3 years after time-zero monitoring	March 2024
Fourth Monitoring Report	4 years after time-zero monitoring	March 2025
Fifth/Final Monitoring Report	5 years after time-zero monitoring	March 2026

Prior to submittal of the Time-Zero Monitoring Report, the conditions below will be followed:

The source for the plants and muck (a minimum of 12-inches of muck required) for the wetland area shall be submitted prior to commencement of work.

I. Upon completion of the mitigation earthwork, the Licensee shall submit an as-built survey providing a Florida registered surveyor’s certification of elevations in relation to design and surveyor verification of actual acreage for all licensed mitigation habitats;

II. Plant installation shall not begin until after the Department has approved the as-built survey.

III. Plant substitutions or planting plan alterations must be approved by the Department prior to installation;

IV. If there are conflicts with any other agency regarding the mitigation area, notify Brandon Justice immediately at 954-519-1228 or at BJustice@broward.org.

Success Criteria

Success of the wetland mitigation area shall be achieved when the entire mitigation area exhibits the following criteria for two consecutive years:

- (1) 85% or greater coverage of desirable wetland vegetation;
- (2) Nuisance plant species constitute less than 5% coverage and exotic plant species constitute less than 2% coverage per acre;
- (3) Appropriate hydrology is observed throughout the system;
- (4) Wetland vegetation is naturally recruiting and planted vegetation exhibits increases in ground coverage when compared with previous monitoring reports with no decline in quantity.

Mitigation Cost Schedule

Construction Item	Unit	Quantity	Unit Cost	Estimated Cost
Earthwork	CY	2,750	\$7.20/CY	\$19,800

Plantings Installed	Each	2,362	Various	\$34,250
Monitoring	Each	5	\$3,500	\$17,500
Maintenance	Each	5	\$2,000	\$10,000
<hr/>				
			Subtotal	\$81,550
			<u>10%</u>	<u>\$8,155</u>
			Total	\$89,705

**STAFF REPORT DISTRIBUTION LIST
ADDRESSES**

Owner:

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Attention: Alan Gavazzi, Capital Projects Director
777 Sawgrass Corporate Parkway
Sunrise, FL 33325

Applicant:

City of Sunrise
Attention: Alan Gavazzi, Capital Projects Director
777 Sawgrass Corporate Parkway
Sunrise, FL 33325

Engineering

Consultant:

Kimley-Horn and Associates
Attention: Eric Greene, P.E.
1615 S Congress Avenue, Suite 201
Delray Beach, FL 33445

Other:

City of Sunrise Building Official