

Prepared by:

Michael C. Owens, Sr. Ass't County Att'y
115 S. Andrews Ave, Room 423
Fort Lauderdale, FL 33301

Return original or certified
recorded document to:
Broward County Environmental Protection
and Growth Management Department
Environmental Engineering
and Permitting Division
1 North University Drive, Mailbox 201
Plantation, Florida 33324

JOINT DEED OF CONSERVATION EASEMENT – STANDARD
(for Broward County and SFWMD within Palm Beach County)

THIS JOINT DEED OF CONSERVATION EASEMENT ("Conservation Easement") is given this 25th day of November, 2025 by CC Homes at the Estates by Turnberry, LLC ("Grantor") whose mailing address is 2020 Salzedo Street, Suite 200, Coral Gables, Florida 33134 to the South Florida Water Management District, 3301 Gun Club Road, West Palm Beach, Florida 33406 and Broward County, a political subdivision of the state of Florida, 115 South Andrews Avenue, Room 409, Fort Lauderdale, Florida 33301 (collectively referred to as "Grantees"). As used herein, the term "Grantor" shall include any and all heirs, successors or assigns of Grantor, and all subsequent owners of the "Conservation Easement Area" (as hereinafter defined) and the term "Grantees" shall include any successor or assignee of Grantees.

WITNESSETH

WHEREAS, Grantor is the fee simple owner of certain lands situated in Broward County, Florida, and more specifically described on the location map in Exhibit "A" attached hereto and incorporated herein (the "Property"); and

WHEREAS, South Florida Water Management District Permit No. 06-112811-P ("Permit") and Broward County License No. DF23-1341 ("License") (collectively "Permit and License") and any modifications thereto issued by the Grantees authorize certain activities which could affect wetlands, surface waters, or other aquatic resources in or of the State of Florida; and

WHEREAS, Grantor, in consideration of the consent granted by the Permit and License or other good and valuable consideration provided to Grantor, is agreeable to granting and securing to the Grantees a perpetual Conservation Easement as defined in Section 704.06, Florida Statutes (F.S.), over the area of the Property described on Exhibit "B" ("Conservation Easement Area"); and

WHEREAS, Grantor grants this Conservation Easement as a condition of the Permit and License solely to off-set or prevent adverse impacts to natural resources, fish and wildlife, and wetland functions; and

WHEREAS, Grantor desires to preserve the Conservation Easement Area in perpetuity in its natural condition, or, in accordance with the Permit and License, in a preserved, enhanced, restored, or created condition,

NOW, THEREFORE, in consideration of the issuance of the Permit and License to construct and operate the permitted and licensed activity, and as an inducement to Grantees in issuing the Permit and License, together with other good and valuable consideration provided to Grantor, the adequacy and receipt of which are hereby acknowledged, Grantor hereby voluntarily grants, creates, conveys, and establishes a perpetual Conservation Easement for and in favor of Grantees upon the Conservation Easement Area described on Exhibit "B" which shall run with the land and be binding upon Grantor, and shall remain in full force and effect forever.

The scope, nature, and character of this Conservation Easement shall be as follows:

1. Recitals. The recitals hereinabove set forth are true and correct and are hereby incorporated into and made a part of this Conservation Easement.
2. Purpose. It is the purpose of this Conservation Easement to retain land or water areas in their existing, natural, vegetative, hydrologic, scenic, open, or wooded condition and to retain such areas as suitable habitat for fish, plants, or wildlife in accordance with Section 704.06, F.S. Those wetland and upland areas included in this Conservation Easement which are to be preserved, enhanced, restored, or created pursuant to the Permit and License (or any modifications thereto) and any Management Plan attached hereto as Exhibit "C" ("Management Plan") which has been approved in writing by Grantees, shall be retained and maintained in the preserved, enhanced, restored, or created condition required by the Permit and License (or any modifications thereto).

To carry out this purpose, the following rights are conveyed to Grantees by this Conservation Easement:

- a. To enter upon the Conservation Easement Area at reasonable times with any necessary equipment or vehicles to inspect, to determine compliance with the covenants and prohibitions contained in this Conservation Easement, and to enforce the rights herein granted in a manner that will not unreasonably interfere with the use and quiet enjoyment of the Conservation Easement Area by Grantor at the time of such entry; and
- b. To proceed at law or in equity to enforce the provisions of this Conservation Easement and the covenants set forth herein, to prevent the occurrence of

any of the prohibited activities set forth herein, and to require the restoration of such areas or features of the Conservation Easement Area that may be damaged by any activity or use that is inconsistent with this Conservation Easement.

3. **Prohibited Uses.** Except for activities that are permitted and licensed or required by the Permit and License (or any modification thereto) (which may include preservation, enhancement, restoration, creation, maintenance, and monitoring activities, or surface water management improvements) or other activities described herein or in the Management Plan (if any), any activity on or use of the Conservation Easement Area inconsistent with the purpose of this Conservation Easement is prohibited. Without limiting the generality of the foregoing, the following activities are expressly prohibited in or on the Conservation Easement Area:
 - a. Construction or placing of buildings, roads, signs, billboards or other advertising, utilities, or other structures on or above the ground;
 - b. Dumping or placing of soil or other substance or material as landfill, or dumping or placing of trash, waste, or unsightly or offensive materials;
 - c. Removing, destroying or trimming trees, shrubs, or other vegetation, except:
 - i. The removal of dead trees and shrubs or leaning trees that could cause damage property is authorized;
 - ii. The destruction and removal of noxious, nuisance or exotic invasive plant species as listed on the most recent Florida Exotic Pest Plant Council's List of Invasive Species is authorized;
 - iii. Activities authorized by the Permit and License, described in the Management Plan, or otherwise approved in writing by Grantees are authorized; and
 - iv. Activities conducted in accordance with a wildfire mitigation plan developed with the Florida Forest Service that has been approved in writing by Grantees are authorized. No later than thirty (30) days before commencing any activities to implement the approved wildfire mitigation plan, Grantor shall notify Grantees in writing of its intent to commence such activities. All such activities may only be completed during the time period for which Grantees approved the plan;
 - d. Excavation, dredging, or removal of loam, peat, gravel, soil, rock, or other material substance in such manner as to affect the surface;

- e. Surface use except for purposes that permit the land or water area to remain in its natural, restored, enhanced, or created condition;
- f. Activities detrimental to drainage, flood control, water conservation, erosion control, soil conservation, or fish and wildlife habitat preservation including, but not limited to, ditching, diking, clearing, and fencing;
- g. Acts or uses detrimental to such aforementioned retention of land or water areas; and
- h. Acts or uses which are detrimental to the preservation of the structural integrity or physical appearance of sites or properties having historical, archaeological, or cultural significance.

4. Grantor's Reserved Rights. Grantor reserves all rights as owner of the Conservation Easement Area, including the right to engage or to permit or invite others to engage in all uses of the Conservation Easement Area that are not prohibited herein and which are not inconsistent with the Permit and License (or any modifications thereto), Management Plan (if any), or the intent and purposes of this Conservation Easement.
5. No Dedication. No right of access by the general public to any portion of the Conservation Easement Area is conveyed by this Conservation Easement.
6. Grantees' Liability. Grantees' liability is limited as provided in Subsection 704.06(10) and Section 768.28, F.S. Additionally, Grantees shall not be responsible for any costs or liabilities related to the operation, upkeep, or maintenance of the Conservation Easement Area.
7. Enforcement. Enforcement of the terms, provisions and restrictions of this Conservation Easement shall be at the reasonable discretion of Grantees, and any forbearance on behalf of Grantees to exercise their rights hereunder in the event of any breach hereof by Grantor, shall not be deemed or construed to be a waiver of Grantees' rights hereunder. Grantees shall not be obligated to Grantor, or to any other person or entity, to enforce the provisions of this Conservation Easement.
8. Taxes. When perpetual maintenance is required by the Permit or License, Grantor shall pay before delinquency any and all taxes, assessments, fees, and charges of whatever description levied on or assessed by competent authority on the Conservation Easement Area, and shall furnish Grantees with satisfactory evidence of payment upon request.
9. Assignment. Grantees will hold this Conservation Easement exclusively for conservation purposes. Grantees will not assign their rights and obligations under this Conservation Easement except to another organization or entity qualified to hold such interests under the applicable state laws.

10. **Severability.** If any provision of this Conservation Easement or the application thereof to any person or circumstances is found to be invalid, the remainder of the provisions of this Conservation Easement shall not be affected thereby, as long as the purpose of the Conservation Easement is preserved.
11. **Terms and Restrictions.** Grantor shall insert the terms and restrictions of this Conservation Easement in any subsequent deed or other legal instrument by which Grantor divests itself of any interest in this Conservation Easement.
12. **Written Notice.** All notices, consents, approvals or other communications hereunder shall be in writing and shall be deemed properly given if sent by United States certified mail, return receipt requested, addressed to the appropriate party or successor-in-interest.
13. **Modifications.** This Conservation Easement may be amended, altered, released or revoked only by written agreement between the parties hereto or their heirs, assigns or successors-in-interest, which shall be recorded in the Official Records of Broward County, Florida.
14. **Recordation.** Grantor shall record this Conservation Easement in timely fashion in the Official Records of Broward County, Florida, and shall rerecord it at any time Grantees may require to preserve its rights. Grantor shall pay all recording costs and taxes necessary to record this Conservation Easement in the public records. Grantor will hold Grantees harmless from any recording costs or taxes necessary to record this Conservation Easement in the public records.

TO HAVE AND TO HOLD unto Grantees forever. The covenants, terms, conditions, restrictions and purposes imposed with this Conservation Easement shall be binding upon Grantor, and shall continue as a servitude running in perpetuity with the Conservation Easement Area.

Grantor hereby covenants with Grantees that Grantor is lawfully seized of said Conservation Easement Area in fee simple; that the Conservation Easement Area is free and clear of all encumbrances that are inconsistent with the terms of this Conservation Easement; all mortgages and liens on the Conservation Easement Area, if any, have been subordinated to this Conservation Easement; that Grantor has good right and lawful authority to convey this Conservation Easement; and that it hereby fully warrants and defends record title to the Conservation Easement Area hereby conveyed against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, CC Homes at the Estates by Turnberry, LLC^{Grantor}
has hereunto set its authorized hand this 25th day of November, 2025.

CC Homes at the Estates by Turnberry, LLC

A Florida business entity or _____ (choose one)

By: 2121
(Signature)

Name: Michael Levak
(Print)

Title: V.P.

Signed, sealed and delivered in our presence as witnesses:

By: L. Vitea
(Signature)

Name: Lissette Vitea
(Print)

By: E.S.
(Signature)

Name: Elizabeth Garcia
(Print)

STATE OF FLORIDA

COUNTY OF Miami-Dade.

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 25th day of November, 2025, by Michael Levak, as the V.P. (title), of CC Homes at the Estates by Turnberry, LLC

Estates by Turnberry, LLC a Florida business entity, or individually (choose one). He/She is personally known to me or has produced a _____ (state) driver's license as identification.

NOTARY PUBLIC, STATE OF FLORIDA

Yisset Mosquera
(Signature)

My Commission Expires: Aug 1, 2026

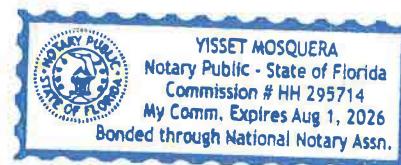


EXHIBIT A

[LOCATION MAP]



EXHIBIT B

[LEGAL DESCRIPTION AND SKETCH OF CONSERVATION EASEMENT AREA]



SKETCH AND LEGAL DESCRIPTION

BY
PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

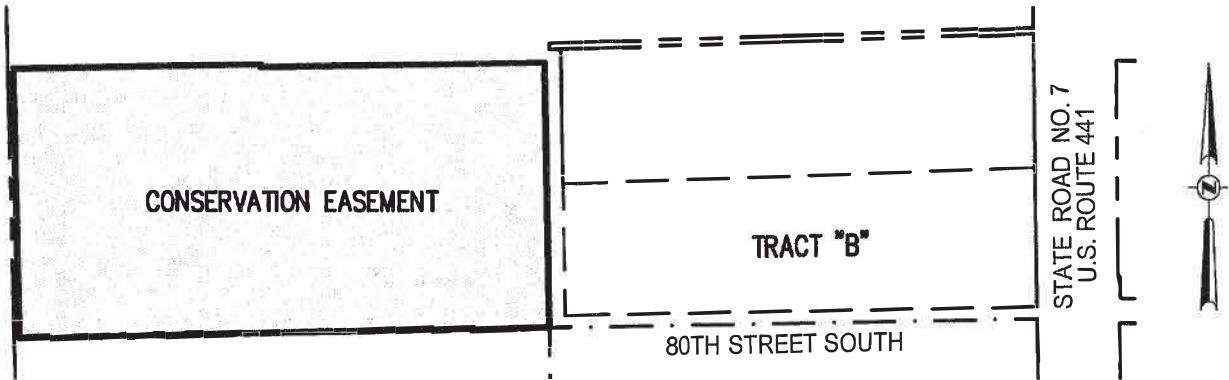


LEGAL DESCRIPTION:

A PORTION OF TRACT "A", "WALKER PRESERVE PARCEL", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 104, PAGE 129, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT "A", ALSO BEING THE SOUTHWEST CORNER OF SECTION 12, TOWNSHIP 45 SOUTH, RANGE 41 EAST, THENCE NORTH 88°54'12" EAST ALONG THE SOUTH LINE OF SAID TRACT "A" 25.00 FEET TO THE POINT OF BEGINNING; THENCE NORTH 01°23'59" WEST ALONG A LINE 25.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID TRACT "A" 1322.46 FEET TO A POINT ON A LINE 25.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID TRACT "A"; THENCE NORTH 88°58'39" EAST ALONG SAID PARALLEL LINE 1223.74 FEET; THENCE SOUTH 01°01'21" EAST 15.00 FEET TO A LINE 40.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID TRACT "A"; THENCE NORTH 88°58'39" EAST ALONG SAID PARALLEL LINE 1398.03 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A"; THENCE SOUTH 01°03'36" EAST ALONG SAID EAST LINE 1304.04 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT "A"; THENCE SOUTH 88°54'12" WEST ALONG SAID SOUTH LINE 2613.92 FEET TO THE POINT OF BEGINNING.

SAID LANDS LYING AND BEING IN PALM BEACH COUNTY, FLORIDA, AND CONTAINING 3,436,496 SQUARE FEET (78.8911 ACRES), MORE OR LESS.



VICINITY MAP

NOT TO SCALE

NOTES:

1. THIS SKETCH IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, FL-E ZONE, WITH THE SOUTH LINE OF TRACT "A" BEING S88°54'12"W
3. THIS IS NOT A SKETCH OF SURVEY AND DOES NOT REPRESENT A FIELD SURVEY.
4. ALL RECORDED DOCUMENTS ARE PER PALM BEACH COUNTY PUBLIC RECORDS.

CLIENT: CC HOMES

SCALE: N/A

DRAWN: L.H.

ORDER NO.: 74315

DATE: 5/21/25

CONSERVATION EASEMENT

80TH STREET SOUTH, LAKE WORTH BEACH

UNINCORPORATED PALM BEACH COUNTY, FLORIDA

SHEET 1 OF 2

THIS DOCUMENT IS NEITHER FULL NOR
COMPLETE WITHOUT SHEETS 1 AND 2

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
 MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA



SKETCH AND LEGAL DESCRIPTION

PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351

TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870



A PORTION
SECTION 12-45-41

N88°58'39"E 1223.74'

NORTH LINE
TRACT A
SECTION 12-45-41

S01°01'21"E
15.00'

N88°58'39"E
1398.03'

NORTH LINE
TRACT "A"

EAST LINE
TRACT "A"

55' RIGHT-OF-WAY
PAGE 1096

UNPLATTED ACREAGE
A PORTION OF SECTION 11-45-41

FPL EASEMENT RIGHT-OF-WAY
WEST LINE
SECTION 12-45-41
N01°23'59"W
1322.46'

TRACT "A"
"WALKER PRESERVE PARCEL"
PLAT BOOK 104, PAGE 129

AGRICULTURAL EASEMENT PROPERTY
SUBJECT TO EXISTING AGRICULTURAL AGREEMENT
O.R.B. 16233, PAGE 520

CONSERVATION EASEMENT

POINT OF COMMENCEMENT

SW CORNER TRACT "A"
SW CORNER OF SECTION 12-45-41

POINT OF BEGINNING

N88°54'12"E 25.00'

NW CORNER
OF SECTION 13-45-41

SOUTH LINE OF SECTION 12-45-41

S88°54'12"W 2613.92'

SOUTH LINE
TRACT "A"

80TH
STREET S

EAST LINE
TRACT "A"

55' RIGHT-OF-WAY
PAGE 1096

L.W.D.D.

S-8

CANAL

PORTION OF
L.W.D.D. S-8 CANAL
55' RIGHT-OF-WAY
PAGE 1096

80TH
STREET S

CLIENT: CC HOMES

SCALE: 1"=400' DRAWN: L.H.

ORDER NO.: 74315

DATE: 5/21/25

CONSERVATION EASEMENT

80TH STREET SOUTH, LAKE WORTH BEACH

UNINCORPORATED PALM BEACH COUNTY, FLORIDA

SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR
COMPLETE WITHOUT SHEETS 1 AND 2

LEGEND & ABBREVIATIONS:

O.R.B. OFFICIAL RECORDS BOOK
FPL FLORIDA POWER & LIGHT COMPANY

EXHIBIT C

[MANAGEMENT PLAN OR "INTENTIONALLY LEFT BLANK"]

Public Works and Environmental Services Department
ENVIRONMENTAL PERMITTING DIVISION
1 North University Drive, Mailbox 201, Plantation, Florida 33324 • 954-519-1483 • FAX 954-519-1412

December 10, 2025 updated January 6, 2026 with the correct owner name

CC Homes at the Estates by Turnberry, LLC
c/o Michael Levak
2020 Salzedo Street, Suite 200
Coral Gables, FL 33019
E-mail: dgerszuny@cchomes.com

Dear Mr. Levak:

This is to notify you of the Public Works and Environmental Services Department's action concerning your application received November 15, 2023, for authorization to fill a wetland area at SW 154th Avenue in the Town of Davie, Florida. The application has been reviewed for an Environmental Resource License.

Broward County - Environmental Resource License (ERL) Review – Granted

The Department has reviewed the project for compliance with Aquatic and Wetland Resource Protection Ordinance Sec. 27-331 through 27-341 of the Broward County Code. Based on the information submitted, Environmental Resource License No. **DF23-1341** is hereby issued. The above-named licensee is hereby authorized to perform the work per the approved drawings(s), plans, documents and specifications as submitted by the licensee, and made a part hereof. The above-mentioned approvals will remain in effect subject to the attached Broward County General Conditions, Broward County Specific Conditions, and stamped exhibits.

The issuance of this license is a **final agency determination**. A person with a substantial interest may file a petition to request review of, or to intervene in a review of, a final administrative determination, subject to the provisions of Section 27-14, Broward County Code of Ordinances (excerpt attached).

Sincerely,

Linda Sunderland

Linda Sunderland, PWS
Environmental Program Supervisor

December 10, 2025

Date

ENC:

1. Environmental Resource License
2. Sec. 27-14 Administrative Review Procedures (4 pages)
3. One copy of stamped drawings (61 pages)

cc:

1. Jim Goldasich, JJ Goldasich and Associates, Incorporated (via e-mail)
2. USACOE-PBG (via e-mail)



Public Works and Environmental Services Department
ENVIRONMENTAL PERMITTING DIVISION

1 North University Drive, Mailbox 201, Plantation, Florida 33324 • 954-519-1483 • FAX 954-519-1412

ENVIRONMENTAL RESOURCE LICENSE

LICENSEE: CC Homes at the Estates by Turnberry, LLC
c/o Michael Levak
2020 Salzedo Street, Suite 200
Coral Gables, FL 33019

LICENSE NO: DF23-1341
PROJECT:
Wetland Impact

This license is issued under the provision of Chapter 27 of the Broward County Code of Ordinances also cited as Broward County Natural Resource Protection Code hereinafter called the Code. The above-named applicant, hereinafter called licensee, is hereby authorized to perform the work or operate the facility shown on the approved drawing(s), plans, documents, and specifications as submitted by applicant, and made a part hereof and specifically described as follows:

Description of Work: This project involves the development of a 151.72-acre mixed-use residential development and associated surface water management system. Currently, the site contains 27.17 acres of uplands, 121.85 acres of jurisdictional wetlands (adjusted from WD2302-007 to be in line with SFWMD permit 06-112811-P), and 2.70-acres of existing surface waters. The following regulated activities are proposed during construction of the aforementioned development: (1) impacts to 121.85-acres of existing wetlands with approximately 532,400 cubic yards of fill; (2) the removal of ~70,660 cubic yards of fill for the creation of seven surface water lakes, each with their own boat ramp and the use of a total of 25-headwalls; (3) the construction of three road crossings over the N-31 Canal, each with two 72" RCP culverts; and (4) the widening of other surface waters to the west, east, and to the south including the installation of headwalls and a vertical lift slide gate. No jurisdictional wetlands will remain on site.

Unavoidable impacts to 121.85-acres of wetlands shall be offset through a 53.38-acre mitigation area, with 26.46-acres of creation (19.93-acres at M-1 and 6.53-acres at M-4) and the restoration of 26.92-acres (3.93-acres at M-2 and 22.99-acres at M-3) within a 78.8911-acre proposed Conservation Easement area. The mitigation amount was determined by the Universal Mitigation Assessment Method (UMAM).

Work Location: The dredge and fill site is located south of SW 20th Street and west of Shotgun Road (SW 154th Ave) in the Town of Davie, Florida. Folio Number 504016000050 and 504016000060. The mitigation area is located at 8535 State Road 7 in an Unincorporated area of Palm Beach County, Folio Number 00-41-45-12-02-001-0000.

Construction shall be in accordance with submitted ERL Application Form received on 11/15/2023, and all additional information submitted; plans stamped by the Department on 12/10/2025 (attached); and with all General and Specific Conditions of this license.

GENERAL CONDITIONS:

1. The terms, conditions, requirements, limitations and restrictions set forth herein are accepted by the licensee and enforceable by Public Works and Environmental Services Department (PWESD) pursuant to Chapter 27 of the Broward County Code of Ordinances. PWESD will review this license periodically and may revoke the license, initiate administrative and/or judicial action for any violation of the conditions by the licensee, its agents, employees, servants or representatives or principals.
2. This license is valid only for the specific uses set forth in the license application, and any deviation from the approved uses may constitute grounds for revocation and enforcement action by PWESD.
3. In the event the licensee is temporarily unable to comply with any of the conditions of the license, the licensee shall notify PWESD within twelve (12) hours. Within five (5) working days of the event, the licensee shall submit a written report to PWESD that describes the incident, its cause, the measures being taken to correct the problem and prevent its reoccurrence, the owner's intention toward repair, replacement, and reconstruction of destroyed facilities, and a schedule of action leading toward operation within the license conditions.
4. The issuance of this license does not convey any vested rights or exclusive privileges, nor does it authorize any injury to public or private property or any invasion of personal rights, or any violations of federal, state or local laws or regulations.
5. This license must be available for inspection on the licensee's premises during the entire life of the license.
6. By accepting this license, the licensee understands and agrees that all records, notes, monitoring data and other information relating to the construction or operation of this permitted source, that are submitted to PWESD, may be used by PWESD as evidence in any enforcement proceeding arising under Chapter 27 of the Broward County Code of Ordinances, except where such use is prohibited by § 403.111, F.S.
7. The licensee agrees to comply with Chapter 27 of the Broward County Code of Ordinances, as amended.
8. Any new owner of a licensed facility shall apply by letter for a transfer of license within thirty (30) days after sale or legal transfer. The transferor shall remain liable for performance in accordance with the license until the transferee applies for, and is granted the transfer of license. The transferee shall also be liable for performance in accordance with the license.
9. The licensee, by acceptance of this license, specifically agrees to allow access to the licensed source at reasonable times by PWESD personnel for the purposes of inspection and testing to determine compliance with this license and Chapter 27 of the Broward County Code of Ordinances.
10. This license does not constitute a waiver or approval of any other license that may be required for other aspects of the total project.
11. If the licensee wishes to renew a license or extend its term, the licensee shall make application sixty (60) days prior to its expiration. Expired licenses are not renewable.
12. In addition to the general conditions set forth above, each license issued by PWESD shall contain specific conditions determined by site conditions and requirements pursuant to the regulations as determined by the director of PWESD. The licensee agrees that specific conditions are enforceable by PWESD for any violation thereof.
13. Enforcement of the terms and provisions of this license shall be at the reasonable discretion of PWESD, and any forbearance on behalf of PWESD to exercise its rights hereunder in the event of any breach by the licensee, shall not be deemed or construed to be a waiver of PWESD's rights hereunder.

SPECIFIC CONDITIONS:**A. STANDARD CONDITIONS**

1. **Notify the Department in writing a minimum of 48 hours prior to project commencement and a maximum of 48 hours after project completion.** Commencement notification should include such information as the intended start date, estimated duration of construction, and the name and contact information of the firm contracted to do the work. Failure to comply with this condition may result in enforcement action.
2. Any project causing environmental problem(s) shall be reported immediately to the Department's Environmental Response Line at 954-519-1499.
3. All project generated solid waste and/or spoil material must be disposed of in a suitable approved manner in accordance with current regulations at an upland location (not including surface waters and wetlands).
4. Only clean fill shall be placed in the water bodies being filled. Any fill material used shall be free of garbage, rubbish, refuse, asphalt, hazardous materials, organic matter such [as] wood, lumber, tree or tree trimmings, or other contaminants. The disposal of any putrescible or deleterious debris in any water body is prohibited.

B. CONSTRUCTION CONDITIONS

1. If the approved license drawings and/or license attachments/plans conflict with the specific conditions, then the specific conditions shall prevail.
2. Demolition and construction related debris must be disposed of at an approved upland location and may not be left in any wetlands or any surface waters.
3. This license does not eliminate the necessity to obtain any required federal, state, local or special district authorizations prior to the start of any activity approved by this license.

C. COMPENSATORY MITIGATION CONDITIONS (OFF-SITE)

1. Construction and installation of the Areas shall be in accordance with plans approved by the Department (attached) and associated information.
2. **Construction of the mitigation area shall be concurrent with impacts on the jurisdictional wetland areas.**
3. A baseline report shall be submitted via e-mail or epermits within 30 days of issuance.
4. The following steps must be taken prior to submittal of the Time-Zero monitoring report, all relevant correspondence may be uploaded to ePermits or e-mailed to AWRlicense@broward.org:
 - (a) Upon completion of the mitigation earthwork, the Licensee shall submit an as-built survey providing a Florida registered surveyor's certification of elevations in relation to design and surveyor verification of actual acreage for all licensed mitigation habitats. **Plant installation shall not begin until after the Department has approved the as-built survey.**
 - (b) The source for the plants and muck (between 12 to 24 inches of muck required) for the wetland area shall be conveyed prior to plant installation. Plant substitutions or planting plan alterations must be approved by the Department prior to installation.

If there are conflicts with any other agency regarding the mitigation area, notify the Aquatic and Wetland group immediately.

5. Once condition C.4. has been approved a Time-Zero monitoring report may be submitted. The Time Zero report is required within 30 days of earthwork approval and prior to any Certificate of Occupancy being issued for any structure on the site.
6. The Area(s) shall be monitored, and reports submitted quarterly for five (5) years describing in detail the condition of the Areas relative to the reference wetland and the criteria listed below (C.7.).
7. A viable wetland system shall be established that replicates a natural reference wetland in basic structure and function. To assure that the Area(s) become self-sustaining, the following criteria shall be met:
 - (a) A minimum of 80% coverage by desirable wetland species after a two (2) year period and demonstration of persistence for three (3) additional years.
 - (b) Less than 2% coverage by invasive exotic and undesirable species is allowable if plants are dispersed and not concentrated in any area. Exotic and undesirable species include, but are not limited to, *Melaleuca*, Australian pine, Brazilian pepper, *Bischofia*, torpedo grass, primrose willow, cattail, air potato, and *Syngonium*. Treatment efforts should be tailored to prevent these species from becoming reproductively mature.
 - (c) A minimum of 80% survival of each planted species shall be maintained each quarter. An exception to this condition may be allowed where species composition, density of planted and recruitment species, the overall wetland condition, as characterized by the growth rates and viability of the Areas are of higher quality, as determined by the Department.
 - (d) Hydrologic conditions and soil characteristics are in general conformity to those specified in plans. Data from the permanent surveyed staff gauges must be collected every two weeks and submitted with the quarterly monitoring reports.
8. Should the Department determine that the Areas are not achieving the listed criteria during some portion of the monitoring period, the licensee shall determine the reasons for failure and prepare plans that demonstrate clearly how the problem(s) will be corrected and submit such plans immediately to the Department for approval. Those plans shall be implemented within 30 days from the Departments written approval.
9. Introduction (direct or indirect) of Grass Carp (*Ctenopharyngodon idella*) is strictly prohibited. The Licensee shall properly employ and maintain Grass Carp exclusion devices as necessary to prevent entry into the area.
10. Permanent physical markers designating the preserve status of the wetland conservation area and buffer zones shall be placed around the entire perimeter of the mitigation area a maximum 100 feet apart. The markers shall be maintained in perpetuity.
11. The licensee shall be responsible for the successful completion of the mitigation work, including the monitoring and maintenance of the mitigation areas for the duration of the plan. The mitigation area shall not be turned over to another entity until the mitigation work is accomplished as licensed and staff has approved the Time Zero mitigation report.
12. Spoil generated from the excavation authorized by this license must be used on-site or placed in off-site uplands and contained in such a manner as to prevent erosion into wetlands or other surface waters.
13. The licensee shall provide any future purchaser(s) of this site with a copy of this license.
14. Required water quality treatment (including $\frac{1}{2}$ " dry pretreatment and/or 1" wet detention as required by the appropriate jurisdictional agencies) must be provided prior to discharge into any part of the licensed wetland mitigation area. The mitigation areas cannot be considered in, or used for, meeting stormwater treatment requirements. Stormwater from development that abuts the mitigation areas shall be routed away from the mitigation areas through swales or other conveyances and treated or discharged into treatment lakes at a distance adequate to maximize treatment prior to mixing with waters in the mitigation areas.
15. The Department must be notified of any change of consultant/contractor during the construction and mitigation monitoring phases of this project.

16. The conservation area shall be the perpetual responsibility of the underlying property owner and may in no way be altered from its natural or licensed state as documented herein, apart from its normal maintenance.

D. CONSERVATION EASEMENT/FINANCIAL ASSURANCE

1. An executed Joint Conservation Easement has been submitted by the applicant and has been approved to form by the County Attorney's office. Accordingly, the Conservation Easement and a copy of this license will be recorded in the public records of the County. It is the Licensee's responsibility to pay the recording costs. A check made payable to the "Board of County Commissioners" shall be submitted to the Department within fifteen (15) days of receipt of the notice of recording costs.
2. A fully executed Conservation Easement and a copy of the issued license must be recorded within six months of license issuance or prior to any COs being issued for the project whichever comes first.
3. If the property ownership changes prior to the Conservation Easement being recorded, a new Conservation Easement draft and updated Opinion of Title must be provided within 30 days of the ownership transfer.
4. The conservation area shall be the perpetual responsibility of the underlying landowner and may in no way be altered from their natural or licensed state as documented in this license, except for restoration activities. Activities prohibited within the conservation area(s) include, but are not limited to: construction or placement of soil or other substances such as trash; removal or destruction of trees, shrubs or other vegetation (with the exception of exotic/nuisance vegetation) removal; excavation, dredging, or removal of soil material; diking or fencing; and any other activities detrimental to drainage, flood control, water conservation, erosion control or fish and wildlife habitat conservation or preservation.
5. The licensee has provided a Performance Bond to Broward County PWESD and SFWMD as financial assurance for this project. Financial Assurance(s) includes construction, monitoring and maintenance costs with a 10% contingency for the total sum of \$2,200,946.00. After the time zero event and upon PWESD review and approval of all information required in Specific Condition C.5, the licensee may request release of 35% of the total financial assurance. After two years of monitoring and maintenance and upon PWESD review and approval, the licensee may request an additional 15% of the financial assurance. At the end of the five-year maintenance and monitoring period and upon demonstration that the licensee has met the intent and all information requested in Specific Condition C.5 and C.6, and if necessary, C.7., the licensee may request the release of the remaining financial assurance. All requests shall be made in writing to the Natural Resources Section of the PWESD. The Licensee is advised that the financial assurance document must remain active until it is released by the Department and no portion of the Financial Assurance will be released by the Department until the Conservation Easement has been recorded.

A COPY OF THIS LICENSE SHALL BE KEPT ON SITE DURING ALL PHASES OF LICENSED CONSTRUCTION.

Recommended for approval by:

Michelle Decker
License Processor

Issued this 10th day of December 2025

Expiration Date: December 10th, 2030

BROWARD COUNTY PUBLIC WORKS AND ENVIRONMENTAL SERVICES DEPARTMENT

Linda Sunderland
LINDA SUNDERLAND, PWS
ENVIRONMENTAL PROGRAM SUPERVISOR
ENVIRONMENTAL PERMITTING DIVISION

Sec. 27-14. Administrative review of PWESD determinations.

- (a) A person with a substantial interest may file a petition to request review of or to intervene in a review of a final administrative determination made pursuant to this chapter concerning:
 - (1) The requirement that a facility or activity obtain a license or environmental review approval.
 - (2) Interpretations of license or environmental review approval conditions.
 - (3) Interpretations of variance conditions.
 - (4) The decision to suspend or revoke a license or environmental review approval.
 - (5) The requirement of certain license conditions.
 - (6) The issuance of a license or environmental review approval.
 - (7) The denial of a license or environmental review approval.
 - (8) The scope of a license or environmental review approval, geographic or otherwise.
 - (9) The scope of a variance, geographic or otherwise.
 - (10) The issuance of a stop work order.
 - (11) Similar final administrative determinations.

This administrative review procedure shall be the only means of review available for the above final administrative determinations by either the petitioner or the intervenor (the parties).

- (b) person may not obtain review by this procedure of:
 - (1) The issuance or adjudication of or other matters involving a notice of violation or a citation.
 - (2) Internal policy decisions
- (c) A person desiring a review of a staff determination made pursuant to this Chapter shall first bring the determination to the attention of the appropriate section supervisor to attempt to resolve the matter. If a resolution cannot be reached, then the decision shall be reviewed by successive supervisory levels until the issue is resolved or reaches the level of the director or his or her designee for the final determination.
- (d) A person desiring administrative review of a final determination made by the director or the designee shall file a petition with the director for review by the hearing examiner. The petition shall be filed within ten (10) days from the rendition of the action taken or of the decision made by the director. An entity whose license or approval is being challenged shall be a party to the action.
- (e) The review shall not be heard until the provisions of subsection (f) are met. Upon motion to the hearing examiner, an insufficient petition shall be dismissed with or without leave to refile. If a petition is determined to be insufficient by the hearing examiner and the petitioner has been given leave to refile by the hearing examiner, unless otherwise ordered by the hearing examiner, the petitioner must refile within ten (10) days of the rendition of the order of dismissal or the petition will be dismissed with prejudice.

- (f) A sufficient petition for review or petition for intervention in the review shall, at a minimum, contain the following information:
 - (1) The nature of the determination sought to be reviewed.
 - (2) A short, plain statement of the facts which form the subject matter upon which the determination was made as asserted by all parties of record at the time that the petition is filed; a statement of the material facts in dispute, if any. If any party is unable to state the matters in sufficient detail at the time initial petition is filed, the petition may be limited to a statement of the issues involved; and thereafter, upon timely written motion, a more definite and detailed statement shall be furnished not less than seven (7) days prior to the date set for the hearing.
 - (3) The specific determination for which the review is sought.
 - (4) The specific legal grounds upon which the parties seek review of the determination.
 - (5) A short statement of the petitioner's or the intervenor's substantial interest in the matter to be reviewed.
 - (6) The specific section of this chapter on which the decision is based, if known, and the specific section that the parties allege should control the decision, if known.
 - (7) A copy of the director's or the designee's written final determination.
 - (8) A statement of the relief requested stating precisely the action that the petitioner wants PWESD to take with respect to the final determination.
- (g) All pleadings or other documents filed in the proceeding must be signed by a party, the party's attorney, or the party's qualified representative. The signature of a party, the party's attorney or a party's qualified representative constitutes a certificate that he or she has read the pleading or other document and that to the best of his or her knowledge, information, and belief formed after reasonable inquiry, it is not brought for any improper purposes, such as to harass or to cause unnecessary delay or for frivolous purpose or needless increase in the cost of litigation. If a pleading or other document is signed in violation of these requirements, the hearing examiner, upon motion or his or her own initiative, shall dismiss the matter.
- (h) A petitioner or intervenor may request an emergency hearing to stay all activities or work conducted pursuant to the challenged license or approval. Such petitioner or intervenor has the burden of proof to show by a preponderance of the evidence that the continued activities would cause substantial pollution or degradation to the environment. An emergency hearing shall be scheduled by PWESD and be held within five (5) days of said request or as soon thereafter as possible subject to the availability of the hearing examiner. The petitioner or intervenor shall comply with the notice provisions of section 27-14(j)(2)a. and c. and section 27-14(j)(3) and (4) of this chapter.
- (i) The petition for review will not stay environmental protection activities required for the remediation or mitigation of a site or facility, the protection of the environment or the health, safety and welfare of the citizens of Broward County, or the prevention of further environmental degradation. The person responsible for these activities must take all necessary steps to prevent environmental degradation and must conduct the remediation or mitigation activities required by this chapter. The director may allow these activities to be delayed until after the hearing examiner's decision by certifying to

the hearing examiner that, by reason of facts stated in the certificate, a delay in the initiation or completion of these activities would not cause substantial environmental degradation or peril to life or property. The delay for conducting these activities may be subject to appropriate terms to ensure protection of the environment. The person responsible for these activities shall be responsible for any environmental damage or any violation of this chapter caused by the delay.

(j) Notice and Scheduling Requirements:

- (1) The hearing on the review shall be scheduled within a reasonable time. It shall be the responsibility of the petitioner to request through PWESD that the hearing date be scheduled. It shall also be the responsibility of the petitioner to give notice in accordance with this section at least ten (10) days prior to the hearing.
- (2) The petitioner shall give notice of the hearing by:
 - a. Giving personal notice to all proper parties; and
 - b. Publishing notice on two (2) days in a newspaper of general circulation in the county; and
 - c. Posting notice at a location determined by the Broward County Administrator's Office.
- (3) The petitioner shall bear the cost of giving notice.
- (4) The notice shall contain, at a minimum:
 - a. A description and location of the facility or the activity to be conducted by the petitioner; and
 - b. The time and place of the hearing.

(k) The petitioner shall bear the cost of accurately and completely preserving all testimony and providing full or partial transcripts to all parties.

(l) The hearing shall be a quasi-judicial hearing.

- (1) The applicant/petitioner requesting the administrative review, any intervenor/petitioner and PWESD shall have an opportunity to respond to and to present witnesses, other evidence and argument on all issues involved, to conduct cross-examination and submit rebuttal evidence, to submit proposed findings of facts and orders, and to be represented by counsel. Members of the general public who are not intervenors as set forth in Section 27-14 of this chapter are not parties to the proceeding.
- (2) When appropriate, the general public may be given an opportunity to present oral or written communications. If the hearing examiner proposes to consider such material, then all parties shall be given an opportunity to cross-examine, challenge or rebut it.

(m) Denial, protest of, revocation, or suspension of a license, environmental review approval, or any other approval:

- (1) In regard to denial or protest of approval of a license and any other review of an administrative decision, notwithstanding (2) below, the petitioner shall have the burden of showing, by a preponderance of the evidence, that the determination of the director was an arbitrary and/or capricious abuse of discretion, not supported by competent, substantial evidence or not in conformance with the

essential requirements of this chapter. The hearing examiner shall not substitute his or her judgment for that of PWESD on an issue of discretion even though the hearing examiner may have reached a different conclusion based on the same facts.

- (2) In an action to revoke or suspend a valid license or approval, the burden shall be upon PWESD to prove, by a preponderance of the evidence in an administrative hearing, the grounds for revocation or suspension. The license holder or approval recipient shall be provided notice of the hearing and a copy of the petition stating the grounds for revocation or suspension as provided in section 27-63 of this chapter. The petition shall state with specificity the acts complained of in order to allow the license holder or approval recipient an opportunity to prepare a defense. The hearing shall be conducted in accordance with the provisions of Section 27-37 of this chapter.
- (n) Findings of fact shall be based exclusively on the evidence of record and on matters officially recognized.
- (o) If the hearing examiner finds that the director or his or her designee has erroneously interpreted a provision and that a correct interpretation compels a particular action, he or she shall remand the case to the director or his or her designee for further action under a correct interpretation of the provision.
- (p) The hearing examiner shall complete and submit to the director and all parties a final order consisting of his or her findings of fact and conclusions of law.
- (q) A party to the hearing may obtain appellate review of the final order as provided by section 27-42 of this chapter.
- (r) A petitioner or intervenor shall pay a filing fee at the time the application for review is filed. The amount of the filing fee shall be set by resolution of the Board.

(Ord. No. 2003-34, § 1, 9-23-03; Ord. No. 2005-08, § 2.03, 4-26-05)
Secs. 27-15--27-19. Reserved.

Project Location



Legend

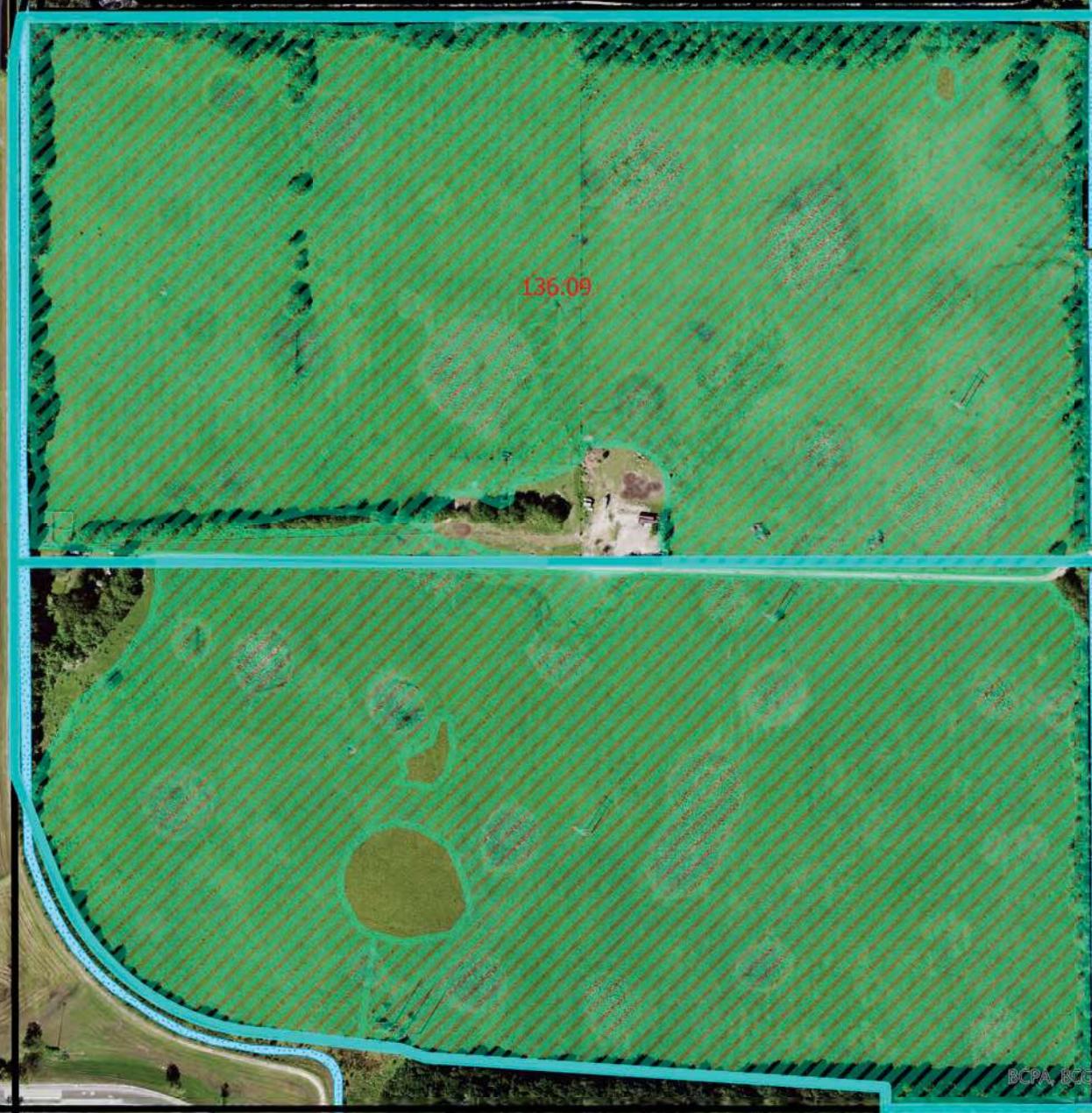
WRD.Water

AWR.Wetlands_noDER

PRESRVTYPE

CONF

Wetland



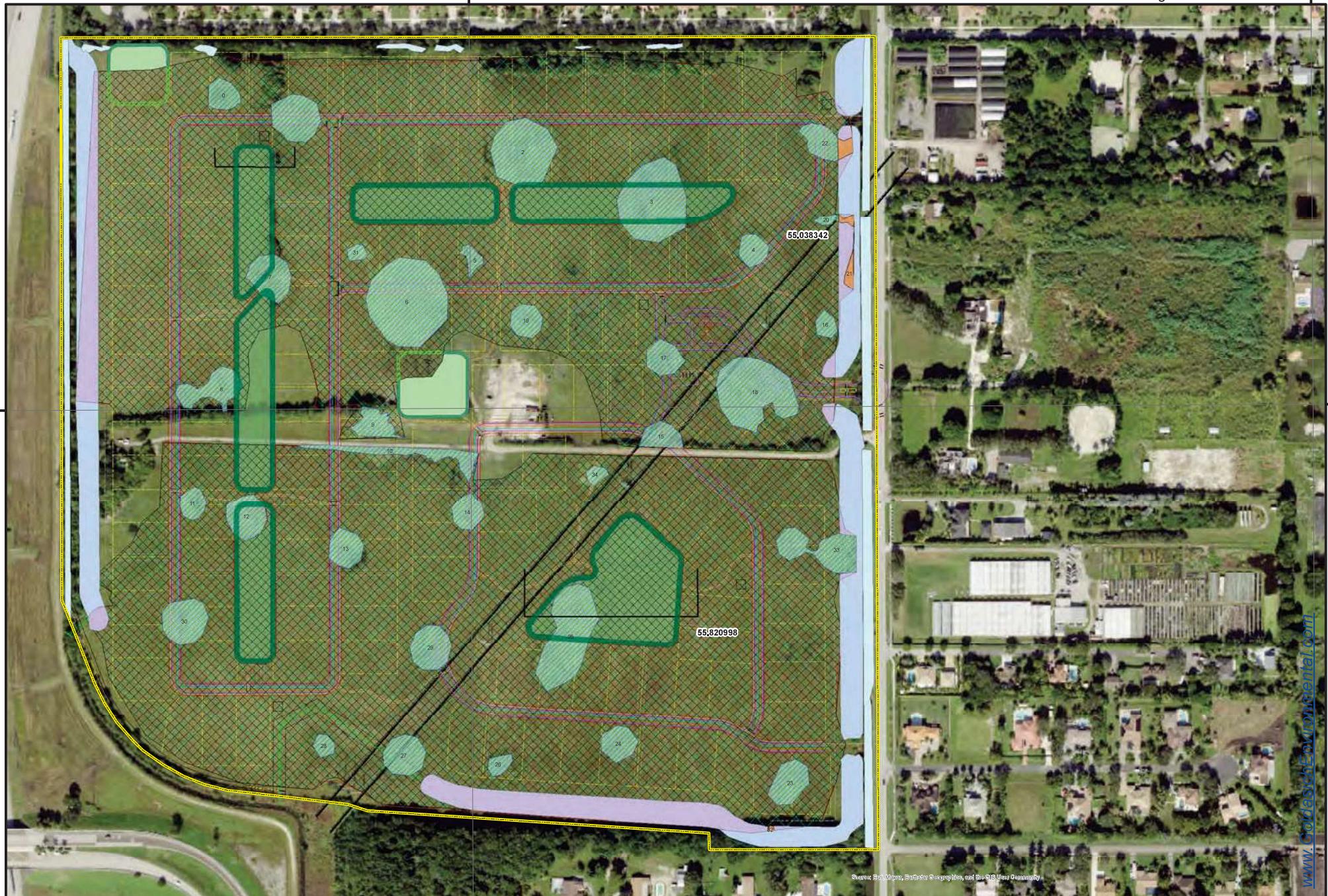
Turnberry
WD2302-007
504016000050 and 504016000060

0 0.05 0.1 Miles

Date: 5/18/2023

User Name: MDECKER





Initial Date: 12/20/2022 Current Revision Date: 3/18/2024

J. J. Goldasich and Associates, Incorporated

Ecological Services
Natural System Analysis
DESIGN/PERMIT-BUILD-MAINTAIN



(561) 883-9555
jjg@jjgoldasich.com
Seagrass to Sawgrass

CC Homes

Turnberry Davie Site Wuantities
Site Plan and Onsite Mitigation
Davie, Broward County, Florida

170 85 0 170 340 510 680 850
Broward County
Page 2 of 81



Wetland Areas with Site Plan

SHOTGUN ROAD SUBDIVISION

LEGAL DESCRIPTION:
ALL OF THE NORTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 16, AND ALL OF THE SOUTH 1/2 OF THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 50 SOUTH, RANGE 40 EAST, BROWARD COUNTY, FLORIDA; LESS AND EXCEPT THE LANDS DESCRIBED AS PARCEL 103 (1) AND (2) IN CERTAIN ORDER OF TAKING RECORDED IN OFFICIAL RECORD BOOK 7946, PAGE 741, OF THE PUBLIC RECORDS OF BROWARD COUNTY, FLORIDA.

ALL OF SAID LANDS BEING MORE FULLY DESCRIBED AS FOLLOWS:

A PORTION OF THE SOUTHWEST 1/4 OF SECTION 16, TOWNSHIP 50 SOUTH, RANGE 40 EAST, BROWARD COUNTY, FLORIDA BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE SOUTH QUARTER (S 1/4) CORNER OF SAD SECTION 16; THENCE NORTH 89°58'28" WEST ON THE SOUTH LINE OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 16 AND THE NORTH RIGHT-OF-WAY LINE OF SW 26, 26TH STREET 549.22 FEET TO THE MOST SOUtheasterLY END OF A LIMITED ACCESS RIGHT-OF-WAY LINE OF INTERSTATE 75; THENCE NORtheasterLY, WESTeasterLY, NORTHWESTeasterLY AND NORtheasterLY ON SAD LIMITED ACCESS RIGHT-OF-WAY LINE AND THE RIGHT-OF-WAY LINE OF SAD SECTION 16, THE FOLLOWING EIGHT (8) FEET AND DISTANCE FROM THE POINT WHERE THE RIGHT-OF-WAY LINE ENDS 500 FEET, [2] THENCE NORTH 89°58'28" WEST ON SAD SECTION 16, 114.43 FEET AND THENCE NORTH 89°58'28" WEST ON SAD SECTION 16, 274.8 FEET; THENCE NORTH 89°58'28" WEST ON THE POINT OF A NON-TANGENT CURVE, CONCAVE NOtheasterLY, WHOSE POINT BEARS NORTH 03°05'50" EAST; [5] THENCE NOtheasterLY ON THE ARC OF SAD CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 85°00'00" AND AN ARC DISTANCE OF 857.99 FEET TO A POINT OF TANGENCY, [6] S 21°09'10" WEST 277.13 FEET TO THE INTERSECTION WITH THE WEST LINE OF SAD SOUTHWEST QUARTER (SW 1/4) OF SECTION 16, TOWNSHIP 54 SOUTH, RANGE 40 EAST; [7] THENCE NORTH 07°05'50" WEST ON SAD WEST LINE 1712.04 FEET TO A POINT ON THE ARC OF A NON-TANGENT CURVE, CONCAVE SOUTheasterLY, WHOSE POINT BEARS SOUTH 03°05'50" EAST; [8] THENCE NOtheasterLY ON THE ARC OF SAD CURVE HAVING A RADIUS OF 580.00 FEET, A CENTRAL ANGLE OF 85°00'00" AND AN ARC DISTANCE OF 114.33 FEET TO THE INTERSECTION WITH THE NORTH LINE OF SAD SOUTHWEST QUARTER (SW 1/4) OF SECTION 16; THENCE NORTH 89°53'30" EAST ON SAD NORTH LINE 2523.58 FEET TO THE CENTER OF SAD SECTION 16, SAD POINT BEING ON THE WEST RIGHT-OF-WAY LINE OF SHOTGUN ROAD (SW 154TH AVENUE); THENCE SOUTH 05°15'57" EAST ON THE EAST LINE OF SAD SOUTHWEST QUARTER (SW 1/4) OF SECTION 16 FOR 2642.65 FEET TO THE POINT OF BEGINNING.

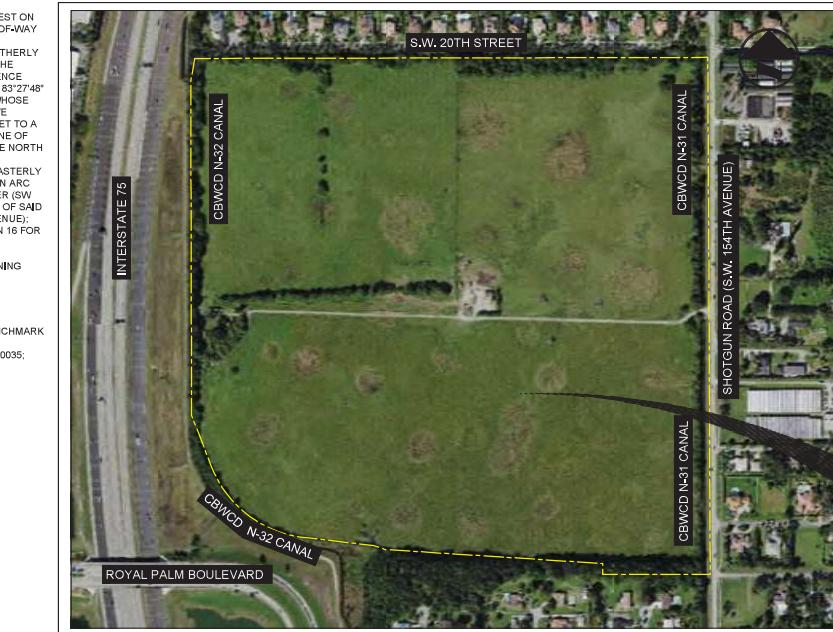
SAID LANDS SITUATE, LYING AND BEING IN THE TOWN OF DAVIE, BROWARD COUNTY, FLORIDA CONTAINING 6,608,563 SQUARE FEET (151,7117 ACRES) MORE OR LESS.

NOTE

1. ELEVATIONS ARE BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988, BROWARD COUNTY BENCHMARK #1122; ELEVATION: 7.71 FEET.
2. FLOOD ZONE: AH/X; BASE FLOOD ELEVATION: 7 FEET/NONE; PANEL #12011C0530H; COMMUNITY #120035; MAP DATE: 8/18/14.

STORM MANAGEMENT DESIGN DATA TABLE	
ITEM	ELEVATION IN FEET
ELEVATIONS IN THESE DRAWINGS ARE BASED ON NAVD88	REQUIRED / PROVIDED
NGVD29 TO NAVD88 CONVERSION FACTOR	0.00 NGVD29 + 6.150 NAVD88
MINIMUM FINISHED FLOOR ELEVATION CRITERIA	
PERA MIN. BASE FLOOD ELEVATION (2014 AND 2021) MODIFIER	7.00
BROWARD COUNTY 100-YEAR FLOOD ELEVATION	6.50
100-YEAR 3-DAY PEAK STAGE	6.50
18" ABOVE NEAREST ROAD, ROAD CROWN ELEVATION - RESIDENTIAL STRUCTURES	7.50 + 0.30
18" ABOVE NEAREST ROAD, ROAD CROWN ELEVATION - NON-RESIDENTIAL STRUCTURES	7.50 + 0.30
FLOOD PANEL INFORMATION	
FRM PANEL (2014)	12010C0503H
FRM PANEL (2021)	12010C0503D
MINIMUM CROWN OF ROAD ELEVATION CRITERIA	
PERA MIN. BASE FLOOD ELEVATION (2014 AND 2021)	FLOOD ZONE A/E EPL = 7.00
BROWARD COUNTY 100-YEAR FLOOD ELEVATION	6.00
100-YEAR 3-DAY PEAK STAGE	6.00
MINIMUM PERIMETER BERM ELEVATION	
25-YEAR 3-DAY PEAK STAGE	6.11
6.15	

ENGINEERING SUBCONSULTANT INFORMATION			
ATLANTIC ENVIRONMENTAL SYSTEMS, INC. 2244 4TH AVENUE NORTH LAKE WORTH FL 33461	LIFT STATION DESIGN	CONTACT: BONNIE MCLEOD PHONE: (561) 547-8200 EMAIL: BONNIE@MCEOPS.COM	
J.J. GOLDAISCH AND ASSOCIATES, INC. 7050 W. PALMETTO PARK ROAD, SUITE 200 ROCA RAYON FL 33433	ENVIRONMENTAL ENGINEERING	CONTACT: JIM GOLDAISCH PHONE: (561) 833-9555 EMAIL: JG@JUGOLDAISCH.COM	



LOCATION MAP

PREPARED FOR:
KBNP, LLC

VERTICAL INFORMATION HEREON IS RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (NAVD 88) [NAD 83] (2000) (1.1 MSLN NAVD 88).

NOTES

1. CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CITY OF SUNRISE MINIMUM DESIGN AND CONSTRUCTION STANDARDS.

			SCALE:
			DESIGNED BY: M
			DRAWN BY: M
			CHECKED BY: C
NO.	ITEM	QTY.	DATE



CRAVEN THOMPSON AND ASSOCIATES
ENGINEERS • PLANNERS • SURVEYORS
3663 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
FAX: (305) 739-8409 TEL: (305) 739-8409
FLORIDA LICENSED ENGINEERING, SURVEYING & MAPPING BUSINESS
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. C-1
MAJOR SHAREHOLDERS IN THE PARTNERSHIP ARE GENE CRAVEN & JAMES THOMPSON. THE FIRM IS A MEMBER OF THE AMERICAN SOCIETY OF LANDSCAPE ARCHITECTS AND THE FLORIDA COUNCIL OF LANDSCAPE ARCHITECTURE.

SHOTGUN ROAD SUBDIVISION
S.W. 154TH AVENUE
TOWN OF DAVIE, FLORIDA
PREPARED FOR

(Read E. Bialek), Team M (Foster, Northwood (Project), Lincoln).
The document has been digitally signed and verified by (Read E. Bialek) on the date indicated here.

REAL Estate Investor, #1	Digitally signed by Chad Edwards Date: 2025/09/29 144544-24400	DATE: 12/19/2023
Chad Everett Edwards Florida P.E., #59306 September 2, 2025		DRAWING NO. C-0
PROJECT NO. 12345678901234567890		

I. APPLICABLE CODES

- A. ALL CONSTRUCTION MATERIALS SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE TOWN OF DAVIE, CITY OF SUNRISE (WATER AND SEWER), CENTRAL BROWARD WATER CONTROL DISTRICT (CBWCD), BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION AND ALL OTHER LOCAL, STATE AND NATIONAL CODES WHERE APPLICABLE.
- B. ALL CONSTRUCTION SHALL BE DONE IN A SAFE MANNER AND IN STRICT COMPLIANCE WITH ALL THE REQUIREMENTS OF THE FLORIDA STATEMENT OF MATERIAL SAFETY AND HEALTH ACT OF 1976 AND ALL STATE AND LOCAL SAFETY AND HEALTH REGULATIONS.
- C. ALL ELEVATIONS SHOWN ON THE CONSTRUCTION DRAWINGS ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88), UNLESS OTHERWISE NOTED.
- D. ALL MATERIALS AND CONSTRUCTION SHALL CONFORM TO THE TOWN OF DAVIE, CITY OF SUNRISE (WATER AND SEWER), CENTRAL BROWARD WATER CONTROL DISTRICT AND BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION (NMN) STANDARDS AS APPLICABLE.
- E. CENTRAL BROWARD WATER CONTROL DISTRICT SPECIFICATIONS SHALL OBTAIN WHEN IN CONFLICT WITH ANY OF THE FOLLOWING SPECIFICATIONS.

II. PRECONSTRUCTION RESPONSIBILITIES

- A. UPON THE RECEIPT OF THE "NOTICE TO PROCEED", THE CONTRACTOR SHALL CONTACT THE ENGINEER OF RECORD FOR APPROVAL OF THE CONSTRUCTION DRAWINGS TO INCLUDE ALL INVOLVED GOVERNMENTAL AGENCIES, UTILITY OWNERS, THE CONTRACTOR AND THE ENGINEER OF RECORD.
- B. THE CONTRACTOR SHALL OBTAIN A SUNRISE STATE ONE CALL OF FLORIDA, INC. CERTIFICATION NUMBER AT LEAST 48 HOURS PRIOR TO BEGINNING ANY EXCAVATION, CALL #864-534770.
- C. CONTRACTOR IS REQUIRED TO OBTAIN A CONSTRUCTION PERMIT FROM THE TOWN OF DAVIE PRIOR TO START OF CONSTRUCTION. ALL APPLICABLE PERMITS SHALL BE OBTAINED BY THE CONTRACTOR PRIOR TO START OF CONSTRUCTION.
- D. ALL UTILITY ASSESSMENTS SHALL BE SECURED PRIOR TO CONSTRUCTION (IF REQUIRED).

- E. LOCATION OF EXISTING FACILITIES AS SHOWN ON CONSTRUCTION DRAWINGS ARE DRAWN FROM AVAILABLE INFORMATION PROVIDED BY THE OWNER. FOR LOCATIONS OF THE FACILITIES SHOWN OR FOR ANY FACILITY NOT SHOWN, THE CONTRACTOR SHALL VERIFY. IF POSSIBLE, THE ELEVATIONS AND LOCATION OF EXISTING FACILITIES PRIOR TO CONSTRUCTION. IF AN EXISTING FACILITY IS FOUND TO CONFLICT WITH THE PROPOSED CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE OWNER AND THE ENGINEER OF RECORD SO THAT APPROPRIATE MEASURES CAN BE TAKEN TO RESOLVE THE PROBLEM.
- F. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DAMAGE TO ANY EXISTING UTILITIES FOR WHICH THE CONTRACTOR FAILS TO NOTIFY LOCATING FROM THE TOWN OF DAVIE UTILITIES DEPARTMENT. THE CONTRACTOR IS ALSO RESPONSIBLE FOR DAMAGE TO EXISTING UTILITIES PREVIOUSLY LOCATED. THE CONTRACTOR SHALL INSPECT PROJECT SITE AND EXISTING UTILITIES PRIOR TO COMMENCEMENT OF WORK.

III. INSPECTIONS

- A. THE CONTRACTOR SHALL NOTIFY THE TOWN OF DAVIE ENGINEERING DEPARTMENT, TOWN OF DAVIE LANDSCAPE DEPARTMENT (954-797-5266), CBWCD, CITY OF SUNRISE COMMUNITY DEVELOPMENT ENGINEERING DIVISION (954-745-2720), THE ENGINEER OF RECORD AND ANY OTHER GOVERNMENTAL AGENCIES HAVING JURISDICTION AT LEAST 48 HOURS PRIOR TO CONSTRUCTION AND APPROVAL PRIOR TO THE INSPECTION OF THE FOLLOWING ITEMS. IN ADDITION ALL INSPECTIONS MUST BE ARRANGED WITH THE ENGINEERING PERMIT CHECK ENGINEERING DIVISION AT (864-771-1113), WHERE APPLICABLE.

1. CLEARING AND DILING

- 2. DRAINAGE SYSTEM
- 3. WATER DISTRIBUTION SYSTEM
- 4. STORM DRAINAGE
- 5. LIKEROCK BASE
- 6. LIKEROCK CONCRETE
- 7. SIDEWALK
- 8. PAVING

IV. SHOP DRAWINGS

- A. PRIOR TO THEIR CONSTRUCTION OR INSTALLATION, SHOP DRAWINGS SHALL BE SUBMITTED TO AND APPROVED BY THE ENGINEER OF RECORD, TOWN OF DAVIE AND/OR CBWCD FOR THE FOLLOWING: SANITARY MANHOLES, STORM DRAINAGE, SIDEWALKS, WATER DISTRIBUTION SYSTEMS, AND OTHER CONSTRUCTION REQUIREMENTS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN ALL OTHER AGENCY APPROVALS IF REQUIRED.
- B. CATALOG LITERATURE SHALL BE SUBMITTED FOR WATER AND SEWER PIPES, FITTINGS AND APPURTENANCES. INDIVIDUAL SHOP DRAWINGS FOR ALL PRECAST STRUCTURES ARE REQUIRED. CATALOG LITERATURE WILL NOT BE ACCEPTED FOR PRECAST STRUCTURES.

V. TEMPORARY FACILITIES

- A. TEMPORARY FACILITIES

 - 1. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO ARRANGE FOR OR SUPPLY TEMPORARY WATER SERVICE, SANITARY FACILITIES AND ELECTRICITY.
 - 2. OBTAIN CONSTRUCTION METER FOR ALL WATER USED ON JOB, ALL WATER USED FOR CLEANING, TESTING, ETC. WILL BE PAID FOR BY THE CONTRACTOR. IF WATER CANNOT BE METERED THEN IT WILL BE CALCULATED.

- B. TRAFFIC REGULATIONS

- 1. MAINTENANCE OF TRAFFIC IN THE PUBLIC RIGHTS-OF-WAY SHALL BE IN ACCORDANCE WITH MUD-CD, AND BROWARD COUNTY TRAFFIC ENGINEER (BCTD) AND SUBMITTED TO THE TOWN OF DAVIE ENGINEERING DEPARTMENT.
- 2. ALL OPEN TRENCHES AND HOLES ADJACENT TO ROADWAYS OR WALKWAYS SHALL BE PROPERLY MARKED AND BARRICADED TO ASSURE THE SAFETY OF BOTH VEHICULAR AND PEDESTRIAN TRAFFIC.
- 3. NO TRENCHES OR HOLES NEAR WALKWAYS. IN ROADWAYS OR THEIR SHOULders ARE TO BE LEFT OPEN DURING INSITEE HOURS WITHOUT EXPRESS PERMISSION OF THE TOWN OF DAVIE.
- 4. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR FOR ANY NECESSARY CONSTRUCTION, PAVEMENT MARKING, AND SIGNAGE TO ENSURE THAT ALL TRAFFIC SIGNALIZATION AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN ALTERNATE SAFE WALK ROUTE.
- 5. WHEN WORKING IN AND AROUND EXISTING DRAINAGE CANALS, APPROPRIATE SILT BARRIERS SHALL BE INSTALLED AS REQUIRED BY LOCAL DRAINAGE DISTRICT AND BROWARD COUNTY ENVIRONMENTAL PROTECTION DEPARTMENT (BEPD).
- 6. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE TRENCH SAFETY SYSTEMS SUCH AS SHEETING AND BRACING IN ACCORDANCE WITH STATE, LOCAL AND OSHA REGULATIONS.

VI. PAVING

- A. GENERAL

 - 1. ALL MUCK AND YIELDING MATERIAL WITHIN THE LIMITS OF CONSTRUCTION SHALL BE REMOVED AND REPLACED WITH CLEAN FILL MATERIAL, WHICH SHALL BE COMPACTED AND APPROVED TO THE REQUIREMENTS OF THE CONTRACTOR. THE CONTRACTOR SHALL PROVIDE A DILING AND DRAINAGE SYSTEM AND AS DETERMINED BY THE ENGINEER, SHALL BE COMPACTED TO NOT LESS THAN 100% OF MAXIMUM DRY DENSITY AS DETERMINED BY ASTM D-6913, LATEST REVISION. AREAS TO BE STABILIZED, AS DETERMINED BY THE ENGINEER, SHALL HAVE A MINIMUM DRY DENSITY OF 95%.
 - 2. ALL UNDERGROUND UTILITIES SHALL BE COMPLETED PRIOR TO CONSTRUCTION OF LIKEROCK BASE.
 - 3. CONTRACTOR SHALL MAINTAIN WATER SERVICE TO ALL EXISTING FACILITIES DURING CONSTRUCTION.
 - 4. WHERE ANY PREVIOUS PAVING IS TO BE CONNECTED TO EXISTING PAVEMENT, THE EXISTING EDGE OF PAVEMENT SHALL BE SAWCUT.



B. MATERIALS

- 1. BASE COURSE SHALL BE CRUSHED LIKEROCK WITH A MINIMUM OF 70% CALCIUM CARBONATE AND MAGNESIUM PER TON OF DAVIE ENGINEERING DESIGN STANDARDS - SECTION I ROADWAY DESIGN CRITERIA, 1.6.1.B.
- 2. ASPHALT SURFACES SHALL BE TYPE S-II/ASPHALTIC CONCRETE, UNLESS OTHERWISE SPECIFIED ON THE PLANS, AND SHALL BE A MINIMUM OF 1/2" THICK (304 LITERS).
- 3. MINIMUM SIDEWALK CONSTRUCTION SHALL BE 8 INCH THICK CONCRETE, MINIMUM 3000 COMPRESSIVE STRENGTH AT 28 DAYS, SAWCUT CONSTRUCTION JOINTS 3" FOOT & 6" WITHIN 48 HOURS OF PLACING.
- 4. CURB CONCRETE 3000+ COMPRESSIVE STRENGTH AT 28 DAYS, SAWCUT CONSTRUCTION JOINTS 10 FOOT (O.C.) WITHIN 48 HOURS OF PLACING.
- 5. REINFORCED CONCRETE SLABS SHALL BE CONSTRUCTED OF CLASS I CONCRETE WITH A MINIMUM STRENGTH OF 3000 PSI AND SHALL BE REINFORCED WITH A #4 X 6" NO. 8 GAUGE WIRE MESH.

C. INSTALLATION

- 1. SUBGRADE FOR PAVEMENT AREAS SHALL BE COMPAKTED TO A MINIMUM OF 98% OF THE MAXIMUM DRY DENSITY (ASHTO T-100), AND SHALL HAVE A MINIMUM LR 40.
- 2. BASE COURSE MATERIAL FOR PAVED AREAS SHALL BE A MINIMUM THICKNESS OF 8 INCHES.
- 3. BASE COURSE MATERIAL FOR CURBS AND GUTTERS SHALL BE A MINIMUM THICKNESS OF 6 INCHES.
- 4. BASE COURSE SHALL BE COMPAKTED TO 98% OF THE MAXIMUM DENSITY AS PER ASHTO T-100 AND SHALL HAVE A MINIMUM LR OF 100.
- 5. INSTALLATION OF THE WEARING SURFACE SHALL CONFORM WITH THE REQUIREMENTS OF THE D.O.T. STANDARD SPECIFICATIONS FOR TYPE S-II/ASPHALTIC CONCRETE.

D. TESTING

- 1. THE FINISHED SURFACE OF THE BASE COURSE AND THAT OF THE WEARING SURFACE SHALL NOT SWAY MORE THAN 1/4" FROM THE HORIZONTAL, ANY IRRREGULARITIES EXCEEDING THIS LIMIT SHALL BE CORRECTED.
- 2. DENSITY TESTS SHALL BE TAKEN BY AN INDEPENDENT TESTING LABORATORY CERTIFIED BY THE STATE OF FLORIDA, WHERE DIRECTED BY THE ENGINEER.
- 3. ALL TESTING COSTS (PAVING) SHALL BE PAID FOR BY THE CONTRACTOR.

- 4. DENSITY TESTS AND AS-A-TESTS ON THE FINISHED LIKEROCK BASE SHALL BE SUPPLIED TO THE TOWN OF DAVIE ENGINEERING DEPARTMENT AND TO THE ENGINEER OF RECORD AND APPROVED BEFORE ANY ASPHALT PAVEMENT IS CONSTRUCTED.

VI. STORM DRAINAGE

A. GENERAL

- 1. DISTANCES AND LENGTHS SHOWN ON PLANS ARE REFERENCED TO THE CENTER OF STRUCTURES.
- 2. ALL THE SWALES NEED TO HAVE DRAINING SOILS. IF EXISTING SOIL IS MUCK, IT MUST BE REMOVED AND REPLACED.

B. MATERIALS

- 1. HIGH DENSITY POLYETHYLENE PIPE SHALL BE LD-2 FOR PIPES 1/2" AND LD-4 FOR PIPES 4" AND 6" AS MANUFACTURED BY A.D.S. OR APPROVED EQUAL AND SHALL MEET MANUFACTURER'S REQUIREMENTS.
- 2. REINFORCED CONCRETE PIPE (R.C.P.) AND HDPE PIPE SHALL MEET THE REQUIREMENTS OF ASTM C-575, LATEST REVISION, RUBBER GASKETS OR OTHER MANUFACTURER SUPPLIED JOINT SEALER SHALL BE USED.

C. INSTALLATION

- 1. PIPE SHALL BE PLACED ON A MINIMUM OF 8" STAB GRANULAR MATERIAL, FREE OF ROCK FORMATION AND OTHER FOREIGN INGREDIENTS, AND CONSTRUCTED TO A UNIFORM GRADE AND LINE.
- 2. BACKFILL MATERIAL SHALL BE WELL GRADED GRANULAR MATERIAL, WELL TAMPED IN LAYERS NOT TO EXCEED 6 INCHES TO A HEIGHT OF 12 INCHES ABOVE PIPE AS SHOWN ON THE PLANS.
- 3. PROVIDE A MINIMUM PROTECTIVE COVER OF 18 INCHES OVER STORM SEWER AND AVOID UNNECESSARY CROSSING BY HEAVY CONSTRUCTION VEHICLES DURING CONSTRUCTION.

VII. WATER DISTRIBUTION SYSTEM

A. SEPARATION OF WATER AND SEWER SYSTEMS

- 1. SANITARY, STORM SEWERS, AND FORCE MAINS SHALL CROSS UNDER WATER MAINS WHENEVER POSSIBLE. SANITARY SEWERS, STORM SEWERS, AND FORCE MAINS CROSSING WATER MAINS SHALL BE LAID IN SEPARATE TRENCHES AND SHALL BE SEPARATED BY A MINIMUM OF 12 INCHES.
- 2. WHERE SANITARY SEWERS, STORM SEWERS, OR FORCE MAINS MUST CROSS A WATER MAIN WITH LESS THAN 18 INCHES VERTICAL DISTANCE, BOTH THE SEWER AND THE WATER MAIN SHALL BE CONSTRUCTED OF DUCTILE IRON PIPE (DIP) AT THE CROSSING. SUFFICIENT LENGTHS OF DIP MUST BE USED TO PROVIDE A MINIMUM DEFLECTION FOR EACH JOINT. ALL JOINTS ON THE WATER MAIN WITHIN 2 FEET OF THE CROSSING MUST BE MECHANICALLY REINFORCED, SANITARY WATER MAIN DEFLECTION IS REQUIRED, THE MAXIMUM DEFLECTION PER EACH JOINT IS 2%.

- 3. ALL CROSSINGS SHALL BE ARRANGED SO THAT THE SEWER PIPE JOINTS AND THE WATER MAIN PIPE JOINTS ARE LOCATED AS FAR AS POSSIBLE FROM THE POINT OF CROSSING (PIPES CENTERED ON THE CROSSING).

- 4. WHERE A DIP PIPE COINCIDES WITH AN EXISTING PIPE WITH LESS THAN 18 INCHES VERTICAL CLEARANCE, THE NEW PIPE SHALL BE CONSTRUCTED OF DIP, AND THE CROSSING SHALL BE ARRANGED TO MEET THE REQUIREMENTS ABOVE.

- 5. A MINIMUM 10FOOT HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN ANY TYPE OF SEWER AND WATER MAIN IN PARALLEL INSTALLATIONS WHETHER EVERBENDING.

- 6. IN CASES WHERE IT IS NOT POSSIBLE TO MAINTAIN A 10 FOOT HORIZONTAL SEPARATION, THE WATER MAIN SHALL BE LOCATED IN A TRENCH OR ON AN ELEVATED EARTH TRENCH LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER.

- 7. WHERE IT IS NOT POSSIBLE TO MAINTAIN A VERTICAL DISTANCE OF 18 INCHES IN PARALLEL INSTALLATIONS, THE WATER MAIN SHALL BE LOCATED IN A TRENCH OR ON AN ELEVATED EARTH TRENCH LOCATED ON ONE SIDE OF THE SEWER OR FORCE MAIN AT SUCH AN ELEVATION THAT THE BOTTOM OF THE WATER IS AT LEAST 18 INCHES ABOVE THE TOP OF THE SEWER. THE WATER MAIN SHOULD ALWAYS BE ABOVE THE SEWER. JOINTS ON THE WATER MAIN SHALL BE LOCATED AS FAR APART AS POSSIBLE FROM JOINTS ON THE SEWER OR FORCE MAIN (STAGED JOINTS).

- 8. A TRENCH (3) FOOT DEEP, CATERPILLAR GRADE, MINIMUM 10FOOT LONG, 10FOOT WIDE, 10FOOT DEEP, DITCHES FOR LIKEROCK BACKFILL SHALL BE PROVIDED FOR WATER MAINS.

- 9. CONTRACTOR SHALL MAINTAIN WATER SERVICE TO ALL EXISTING FACILITIES DURING CONSTRUCTION.

B. MATERIALS

- 1. PVC PIPE 4", 6", 8", 10" TO 12" DIAMETER PIPE MUST BE CLASS 150, DR 14 ("6" & 6") AND DR 18 ("8" TO 12") ANSIBAWA C00242 ASTM PRESSURE PIPE AND SHALL HAVE RUBBER GASKET JOINTS.
- 2. DUCTILE IRON PIPE FOR WATER DISTRIBUTION MAINS SHALL CONFORM TO ANSIBAWA STANDARD C00242, LATEST REVISION. DUCTILE IRON PIPE SHALL BE APPROVED EQUAL TO CBWCD C00242, AND CLASS 52 FOR 4" AND 6" UNLESS OTHERWISE DIRECTED BY THE ENGINEER. PRESSURE CLASS SHALL BE 350 FOR PIPE SIZES 20" AND 25" FOR PIPES SIZES 30"-40". DUCTILE IRON PIPE SHALL BE CEMENT LINED AND COATED IN ACCORDANCE WITH THE ENGINEER'S REQUIREMENTS.
- 3. DUCTILE IRON FITTINGS FOR WATER DISTRIBUTION MAINS SHALL BE CEMENT LINED AND COATED IN ACCORDANCE WITH ANSIBAWA C010421, LATEST REVISION.

- 4. BACKFLOW PREVENTERS TO BE FEDCO MODEL 825.

- 5. VALVES FOR WATER MAINS LESS THAN 10" SHALL BE GATE VALVES AND GEAR OPERATED VALVES FOR WATER MAINS ABOVE 10".

- 6. GATE VALVES 4" AND LARGER SHALL BE IRON BODY FULLY ENCAPSULATED RESILIENT SEAT, BRONZE BODY, AND SHALL HAVE A MINIMUM LEAKAGE OF 100 GPM FOR 100 FEET OF LENGTH. GATE VALVES 6" AND LARGER SHALL HAVE MECHANICAL GATE VALVES SHALL BE MUELLER #2030, AMERICAN DURAPLINE 020, CLOW 9510 OR APPROVED EQUAL CONFORMING TO ANSIBAWA C50040 WITH A 2" OPERATING THICKNESS OF THE LEAF.

- 7. THE REFLECTIVE PAVEMENT MARKER SHALL BE INSTALLED IN THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT EQUIVALENT TO ALL THE LOCATIONS OUTSIDE THE ROAD PAVEMENT. WATER MARKERS SHALL BE WHITE.

- 8. SET SPLINES USED FOR EXTENSIONS SHALL BE STAINLESS STEEL.

- 9. VALVE BOXES FOR BLOWOFF ASSEMBLIES SHALL BE U.S. FOUNDRY MODEL 7500, MARKED "WATER" OR APPROVED EQUAL.

- 10. VALVE BOXES FOR BLOWOFF ASSEMBLIES SHALL BE U.S. FOUNDRY MODEL 7630 OR APPROVED EQUAL.

- 11. MAIN VALVES SHALL BE INSTALLED AWAY FROM PARKING AREAS. IF THIS IS UNAVOIDABLE, PROPER MEASURES SHALL BE TAKEN TO AVOID THE PARKING OF VEHICLES OVER THE VALVES. HYDRANT VALVES LOCATED IN PARKING AREAS SHALL BE PAINTED WITH HYDRAULIC MARKERS. HYDRANT VALVES LOCATED IN PARKING AREAS ARE REFERRED FOR RESTRIKING. PIPE HYDRANT SHALL COMPLY WITH ANSIBAWA C50040. A BLUE REFLECTIVE PAVEMENT MARKER SHALL BE PLACED IN THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT EQUIVALENT TO ALL THE LOCATIONS OUTSIDE THE ROAD PAVEMENT. WATER MARKERS SHALL BE WHITE. REFLECTIVE PAVEMENT MARKERS SHALL BE PROVIDED FOR ALL OTHER TEST SEGMENTS.

- 12. THE DISTANCE FROM THE TOP OF THE VALVE ACTUATOR JUT TO THE GATE VALVE SHALL BE 12 INCHES.

- 13. HYDRANT VALVES SHALL BE MUELLER CENTURION TRAFFIC TYPE A-03 150# 1/2" INCH INTERNAL VALVE OPERATING AT 1000 PSI. MAIN VALVE OPENING TO BE DETERMINED BY THE WATER DEPARTMENT, PLUMPER TESTS TO BE MADE TO DETERMINE THE OPENING. HYDRANT VALVE SHALL BE APPROVED EQUAL TO CBWCD C00242, A BLUE REFLECTIVE PAVEMENT MARKER SHALL BE PLACED IN THE CENTER OF THE NEAREST LANE OF ROAD PAVEMENT EQUIVALENT TO ALL THE LOCATIONS OUTSIDE THE ROAD PAVEMENT. WATER MARKERS SHALL BE WHITE.

- 14. HYDRAULIC TESTS SHALL BE PERFORMED AT A MINIMUM STARTING PRESSURE OF 150 PSI FOR TWO HOURS IN ACCORDANCE WITH ANSIBAWA C010421, LATEST REVISION. HYDRAULIC TESTS SHALL BE MADE TO NEW LINES AFTER TWO CONSECUTIVE DAYS OF BACTERIOLOGICAL SAMPLES HAVE PASSED, AND COPIES OF RESULTS HAVE BEEN RECEIVED BY THE ENGINEER, COUNTY AND HRS. COLLECTION OF SAMPLES SHALL BE MADE IN ACCORDANCE WITH THE ENGINEER'S REQUIREMENTS.

- 15. SAMPLING POINTS SHALL BE PROVIDED AT THE LOGISTICS SHOWN ON THE PLANS. IF NOT SPECIFIED, SAMPLING POINTS SHALL BE PROVIDED AT INTERVALS OF 100' MAXIMUM FOR LINES GREATER THAN 100' IN LENGTH. A MINIMUM OF TWO SAMPLING POINTS SHALL BE PROVIDED FOR ALL OTHER TEST SEGMENTS.

- 16. THE ALLOWABLE LEAKAGE SHALL BE LESS THAN THE NUMBER OF GALLONS PER HOUR AS DETERMINED BY THE FORMULA

$$L = \frac{P \cdot L \cdot Q}{1000 \cdot 3600}$$

- IN WHICH L EQUALS THE ALLOWABLE LEAKAGE IN GALLONS PER HOUR, P EQUALS LENGTH OF PIPE (LINEAR FEET), Q EQUALS NOMINAL DIAMETER OF PIPE (INCHES) AND P EQUALS THE MINIMUM TEST PRESSURE (POUNDS PER SQUARE INCH).

- 17. THE PRE-TEST HYDRANT SHALL BE OPENED AND THE HYDRANT VALVE SHALL BE OPENED AND THE ENGINEER OR APPROVED EQUAL CONFORMING TO CBWCD C00242.

- 18. THE TEST HYDRANT SHALL BE OPENED AND THE ENGINEER OR APPROVED EQUAL CONFORMING TO CBWCD C00242.

- 19. THE HYDRANT VALVE SHALL BE OPENED AND THE ENGINEER OR APPROVED EQUAL CONFORMING TO CBWCD C00242.

- 20. THE HYDRANT VALVE SHALL BE OPENED AND THE ENGINEER OR APPROVED EQUAL CONFORMING TO CBWCD C00242.

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- 61. THE HYDRANT VALVE SHALL BE OPENED AND

X. PAVEMENT MARKING AND SIGNAGE

A. ALL PAVEMENT MARKINGS AND SIGNAGE SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" CURRENT EDITION, AND BROWARD COUNTY TRAFFIC ENGINEERING STANDARDS (LATEST EDITION). ALL PAINT FOR STRIPING & MARKINGS SHALL BE DOT APPROVED PAINT.

B. THE AGENT RESPONSIBLE FOR MAINTENANCE OF THE TRAFFIC SIGNALS AND RELATED EQUIPMENT IS BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BTCTED). ALL SYSTEM COMMUNICATING EQUIPMENT, CARLING AND RELATED MATERIAL SHALL COMPLY WITH BROWARD COUNTY'S LATEST EDITION OF "MINIMUM STANDARDS AND REQUIREMENTS FOR THE STATEMENT AND MAINTENANCE OF TRAFFIC SIGNALS". THIS REQUIREMENT DOCUMENTS REFER TO THE STATEMENT AND MAINTENANCE OF TRAFFIC SIGNALS POLICIES AND PROCEDURES FOR ADDITIONAL INFORMATION. BROWARD COUNTY TRAFFIC ENGINEERING DIVISION WILL NOT ACCEPT ANY PROJECTS THAT DO NOT MEET THESE STANDARDS. IN THE EVENT OF A MAINTENANCE ISSUE WITH A TRAFFIC SIGNAL OR ITS INTERSECTION, NO ADDITIONAL FIBER PULL BOXES WILL NEED TO BE INSTALLED. FOR A COPY OF THESE STANDARDS REFER TO THE BROWARD COUNTY WEB SITE AT WWW.BROWARD.GOV/TRAFFIC. UNDUE DELAY IN MAINTENANCE WILL NOT BE ACCEPTED.

IF THERE IS COOPER INTERCONNECT CABLES WITHIN YOUR PROJECT LIMITS OR WITHIN 1500 FEET OF YOUR PROJECT LIMITS, CONTACT BRIET HENDERSON, TRAFFIC SIGNAL SUPERVISOR AT RHENDERSON@BROWARD.ORG OR 954-354-2702.

IF THERE ARE FIBER OPTIC CABLES WITHIN YOUR PROJECT LIMITS OR WITHIN 1500 FEET OF YOUR PROJECT LIMITS, CONTACT ROBERT BLOUNT, COMMUNICATIONS MANAGER AT RBLOUNT@BROWARD.ORG OR 954-354-2624.

ALL BTCTED COMMUNICATIONS CABLE/CONDUIT SHALL BE LOCATED AT A MINIMUM OF 48-INCHES IN DEPTH, UNLESS

BROWARD COUNTY TRAFFIC ENGINEERING DIVISION

PROCEDURE FOR NOTIFICATION OF COMMUNICATIONS

COPPER INTERCONNECT CABLE NOTIFICATION CONTACT PERSON

WHEN COMMUNICATING TO AN INTERSECTION, MUST BE DISRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE TWO (2) DAYS ADVANCE NOTICE IN WRITING TO THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC MAIL (EMAIL) TO THE TRAFFIC SIGNAL SUPERVISOR AT TECOMMUNICATIONS@BROWARD.ORG. NOTIFICATION EMAIL SUBJECT LINE SHALL BE "NOTIFICATION OF COMMUNICATIONS DISRUPTION". THE NOTIFICATION SHALL LAST FOR NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS. WHERE POSSIBLE, THE DISRUPTION SHALL BE DURING OFF PEAK HOURS BEGINNING AT 9:00AM AND ENDING AT 3:00PM.

FIBER OPTIC CABLE CABLE NOTIFICATION CONTACT PERSON

WHEN COMMUNICATING TO AN INTERSECTION MUST BE DISRUPTED BY A CONTRACTOR TO PERFORM WORK, THE CONTRACTOR SHALL PROVIDE TWO (2) DAYS ADVANCE NOTICE IN WRITING TO THE BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THIS NOTIFICATION SHALL BE CONVEYED VIA ELECTRONIC MAIL (EMAIL) TO THE TRAFFIC SIGNAL SUPERVISOR AT TECOMMUNICATIONS@BROWARD.ORG. NOTIFICATION EMAIL SUBJECT LINE SHALL BE "NOTIFICATION OF COMMUNICATIONS DISRUPTION". THE NOTIFICATION SHALL LAST FOR NO MORE THAN 3 CONSECUTIVE BUSINESS DAYS. WHERE POSSIBLE, THE DISRUPTION SHALL BE DURING OFF PEAK HOURS BEGINNING AT 9:00AM AND ENDING AT 3:00PM.

UTILITY OWNERSHIP:

COPPER INTERCONNECT CABLE - BROWARD COUNTY TRAFFIC ENGINEERING DIVISION (BTCTED) 954-347-2702.

FIBER OPTIC CABLE - BROWARD COUNTY HIGHWAY CONSTRUCTION AND ENGINEERING DIVISION (BCHED) 954-354-2624.

C. MAINTENANCE OF TRAFFIC
SCHOOL/PEDESTRIAN

THE MAINTENANCE OF TRAFFIC PLAN PROVIDED BY THE CONTRACTOR, SHALL INCLUDE PROVISIONS FOR PEDESTRIAN AND/OR SCHOOL STUDENT TRAFFIC AS WELL AS VEHICULAR TRAFFIC. THE FOLLOWING ARE MINIMUM REQUIREMENTS.

THE SAFE WALK ROUTE FOR ALL SCHOOL STUDENTS WITHIN THE VENUE OF THE CONSTRUCTION ZONE SHALL BE MAINTAINED DURING THE TIMES STUDENTS ARE ARRIVING AT OR LEAVING SCHOOL. IF THE CONSTRUCTION ZONE IS LOCATED ON A HIGHWAY, THE CONTRACTOR SHALL MAINTAIN THE SAFE WALK ROUTE. IF THE CONSTRUCTION ZONE IS LOCATED ON A LOCAL ROAD, THE CONTRACTOR SHALL MAINTAIN THE SAFE WALK ROUTE. THE SAFE WALK ROUTE SHALL BE SEPARATED FROM THE CONSTRUCTION ACTIVITY BY THE CONSTRUCTION ACTIVITY CONSTRUCTION FENCE FOR THE ENTIRE LENGTH OF THE PROJECT OR THE LENGTH OF THE WALK ROUTE, WHICHEVER IS LESS.

D. MAINTENANCE OF TRAFFIC
SCHOOL/PEDESTRIAN (CONTINUED)

ALL CONSTRUCTION EQUIPMENT ARE ARRIVED AT OR LEAVING THE VENUE OF THE CONSTRUCTION ACTIVITY, THE CONTRACTOR SHALL MAINTAIN THE SAFE WALK ROUTE, OR THE CONTRACTOR SHALL CEASE OPERATING UNLESS SATISFACTORILY BARRICADED FROM THE WALK ROUTE.

IN THE CASE THAT A DESIGNATED CROSSING OR ANY PORTION OF THE DESIGNATED WALK ROUTE CAN NOT BE MAINTAINED, THEN THE CONTRACTOR SHALL NOTIFY THE SPECIAL PROJECTS COORDINATOR AT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (954) 354-2671, A MINIMUM OF TEN (10) WORKING DAYS PRIOR TO CONSTRUCTION ACTIVITY, THAT THE CONTRACTOR IS GOING TO USE AN ALTERNATE CROSSING OR WALK ROUTE.

IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INSTALL ANY NECESSARY PAVEMENT, ROAD ROCK, PAVEMENT MARKING AND SIGNAGE AND/OR SIGNAL MODIFICATION TO ACCOMMODATE AN EXISTING OR ALTERNATE WALK ROUTE.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE STATE CERTIFIED SCHOOL CROSSING GUARDS OR OFF DUTY POLICE OFFICERS TO CROSS STUDENTS AT ANY LOCATIONS OTHER THAN THOSE PROVIDED BY THE CONTRACTOR. THE CONTRACTOR MAY USE PLACEMATS, ONLY IF THEY ARE STATE CERTIFIED AS A SCHOOL CROSSING GUARD.

SEVENTY (70) DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION THE CONTRACTOR SHALL NOTIFY THE SPECIAL PROJECTS COORDINATOR AT BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (954) 354-2671, TO ARRANGE A PRECONSTRUCTION - SCHOOL SAFETY MEETING.

IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO NOTIFY THE BROWARD COUNTY SCHOOL BOARD PUPIL TRANSPORTATION DEPARTMENT - TRANSPORTATION OFFICER AND SUPERVISOR, (751-3244-EXT # 2013) OF THE PROPOSED PROJECT AND PRE-ARRANGE A PRE-ROUTE MEETING, THE CONTRACTOR SHALL NOTIFY ALL BUS ROUTES AND TO MAKE ANY NECESSARY ARRANGEMENTS FOR REROUTING, THIS MEETING SHALL BE CONVENED BY THE SPECIAL PROJECTS COORDINATOR FROM BROWARD COUNTY TRAFFIC ENGINEERING DIVISION, (954) 354-2671.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING A SAFE AND APPROPRIATE WALKING SURFACE FOR ALL SCHOOL CHILDREN/PEDESTRIANS. THE SAFE WALK ROUTE SHALL BE PART OF THE MAINTENANCE OF TRAFFIC PLAN.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DEDICATING AN APPROVED MAINTENANCE OF TRAFFIC PLAN (MOT) INCLUDING THE ABOVE SCHOOL/PEDESTRIAN CONDITIONS, THROUGH BROWARD COUNTY TRAFFIC ENGINEERING DIVISION. THE CONDITIONS OUTLINED IN THE MOT ARE IN FORCE AND FULLY EFFECTIVE AS PART OF THE PROPOSED IMPROVEMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT ALL CONSTRUCTION ACTIVITY IS CONDUCTED IN ACCORDANCE WITH THE REQUIREMENTS OF THE APPROVED MOT, INCLUDING THE ABOVE SCHOOL/PEDESTRIAN CONDITIONS.

XI. PROJECT CLOSEOUT

A. DURING CONSTRUCTION, THE PROJECT SITE AND ALL ADJACENT AREAS SHALL BE MAINTAINED IN A NEAT AND CLEAN MANNER, AND UPON FINAL CLEANUP, THE PROJECT SITE SHALL BE LEFT CLEAR OF ALL SURPLUS MATERIAL OR TRASH. THE PAVED AREAS SHALL BE SWEEP BROOM CLEAN.

B. THE CONTRACTOR SHALL REMOVE OR REPLACE, AND AS NECESSARY, ANY PUBLIC OR PRIVATE PROPERTY, EQUIPMENT OR WORK MATERIALS LEFT ON THE SITE, TO A CONDITION AT LEAST EQUAL TO THAT EXISTING IMMEDIATELY PRIOR TO THE BEGINNING OF OPERATIONS. TO THAT END, THE CONTRACTOR SHALL DO AS REQUIRED ALL NECESSARY HIGHWAY, DRIVEWAY, VALLEY AND LANDSCAPING WORK, AS WELL AS REPAIR ANY DAMAGE CAUSED BY THE CONTRACTOR'S ACTIVITIES.

C. WHERE MATERIAL OR DEBRIS HAS BEEN WASHED OR FLOWED INTO OR HAS BEEN PLACED IN WATER COURSES, Ditches, Drains, Catch Basins, or elsewhere as a result of the Contractor's operations, such debris shall be removed and disposed of in a manner that is safe and does not interfere with the progress of the work and the area kept in a clean and neat condition.

D. ALL PROPERTY MONUMENTS OR PERMANENT REFERENCES REMOVED OR DESTROYED BY THE CONTRACTOR SHALL BE REINSTATED AND RESTORED AS RESTORED BY A STATE OF FLORIDA REGISTERED LAND SURVEYOR AT THE CONTRACTOR'S EXPENSE.

E. ALL UNPAVED SURFACES DISTURBED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE RESTORED TO A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED BEFORE THE CONSTRUCTION.

B. PROJECT RECORD DOCUMENTS

1. DURING THE ONLY PROGRESS OF THE JOB, THE CONTRACTOR SHALL RECORD ON HIS SET OF COPIES OF THE CONTRACT DOCUMENTS, LOCATION, MATERIAL AND ELEVATION OF ANY FAULTS NOT BUILT EXACTLY ACCORDING TO PLANS.

2. LIMEROCK BASE CONSTRUCTION (AND BEFORE PLACING ASPHALT PAVEMENT), THE CONTRACTOR SHALL RECORD ON HIS SET OF COPIES OF THE CONTRACT DOCUMENTS, LOCATION, MATERIAL AND ELEVATION OF THE LOCATIONS AND PERTINENT GRADES OF ALL DRAINAGE INSTALLATIONS AND THE FINISHED ROCK GRADES OF THE ROAD CROWN AND EDGES OF PAVEMENT AT 50 FOOT INTERVALS, INCLUDING LOCATIONS AND ELEVATIONS OF ALL DRAINAGE INLET LOCATIONS AND ELEVATIONS. THESE RECORDS ON ELEVATIONS SHALL BE CERTIFIED BY A FLORIDA REGISTERED LAND SURVEYOR.

3. UPON COMPLETION OF THE WATER & SEWER SYSTEMS AND PRIOR TO FINAL PAYMENT, THE CONTRACTOR SHALL CERTIFY ON HIS SET OF COPIES OF THE CONTRACT DOCUMENTS, LOCATIONS AND ELEVATIONS OF ALL "AS-BUILT" CONTRACT DRAWINGS FOR REVIEW AND APPROVAL. THESE DRAWINGS SHALL BE MARKED TO SHOW "AS-BUILT" CONSTRUCTION CHANGES AND DIMENSIONS, LOCATIONS AND ELEVATIONS OF ALL IMPROVEMENTS.

4. "AS-BUILT" INFORMATION OF GRAVITY SEWERS MUST CONTAIN LOCATION OF SERVICE LATERALS AND DRAINS, ETC., STATIONING OF BOTH THE WYE, CLEAOUTS, AND THE SERVICE END MUST ALSO BE INCLUDED.

5. "AS-BUILT" INFORMATION ON THE WATER SYSTEM SHALL INCLUDE, BUT IS NOT LIMITED TO, LOCATIONS OF ALL WATER LINES, CLEAOUTS, AND THE SERVICE END, STATIONING ON 100-FOOT MINIMUM INTERVALS.

6. ALL "AS-BUILT" INFORMATION SHALL BE CERTIFIED BY A FLORIDA REGISTERED LAND SURVEYOR.

7. ALL "AS-BUILT" INFORMATION SHALL BE COMPLETED, DELIVERED TO CENTRAL BROWARD WATER CONTROL DISTRICT, AND REVIEWED PRIOR TO INSPECTION AND ACCEPTANCE OF ORANGE ASSESSMENTS.

8. ALL "AS-BUILT" INFORMATION SHALL BE COMPLETED, DELIVERED TO CITY OF SUNRISE AND REVIEWED PRIOR TO INSPECTION AND ACCEPTANCE OF ORANGE ASSESSMENTS.

9. PRIOR TO A FINAL INSPECTION BY THE TOWN OF DAVIE ANDOR CENTRAL BROWARD WATER CONTROL DISTRICT, THE ENGINEER SHALL SUBMIT TWO (2) SETS OF BLUEPRINTS OF "AS-BUILT" CONSTRUCTION DRAWINGS.

10. UPON A FINAL INSPECTION BY THE TOWN OF DAVIE ANDOR CENTRAL BROWARD WATER CONTROL DISTRICT, THE CONTRACTOR SHALL CERTIFY ON HIS SET OF COPIES OF THE CONTRACT DOCUMENTS, THE CONSTRUCTION DRAWINGS THAT HAVE BEEN CERTIFIED BY A REGISTERED SURVEYOR AND MAPPER AND THE ENGINEER OF RECORD, TWO (2) CERTIFIED VIRUS-FREE LABELLED CDs CONTAINING AN ELECTRONIC DRAWING OF THE RECORDS OF THE CONTRACTOR, AND TWO (2) SETS OF COPIES OF THE "AS-BUILT" DRAWINGS TO THE TOWN OF DAVIE ENGINEERING DEPARTMENT ANDOR CENTRAL BROWARD. INCLUDE IN THE "AS-BUILT" PLANS A SEPARATE SHEET SHOWING THE UTILITY EASEMENTS, PROVIDE AS PART OF THE "AS-BUILT" PLANS A SEPARATE SHEET FOR ALL UTILITY EASEMENTS, ATTACHMENT OF THE FIRE HYDRANTS, MALLEABLE SERVICE TAPS, ETC. AS WELL AS EVERY HUNDRED FEET ALONG THE MAIN.

11. PRIOR TO A FINAL INSPECTION BY THE TOWN OF DAVIE ANDOR CENTRAL BROWARD WATER CONTROL DISTRICT, THE CONTRACTOR SHALL CERTIFY ON HIS SET OF COPIES OF THE CONTRACT DOCUMENTS, THE CONSTRUCTION DRAWINGS THAT HAVE BEEN CERTIFIED BY A REGISTERED SURVEYOR AND MAPPER AND THE ENGINEER OF RECORD, TWO (2) CERTIFIED VIRUS-FREE LABELLED CDs CONTAINING AN ELECTRONIC DRAWING OF THE RECORDS OF THE CONTRACTOR, AND TWO (2) SETS OF COPIES OF THE "AS-BUILT" DRAWINGS TO THE TOWN OF DAVIE ENGINEERING DEPARTMENT ANDOR CENTRAL BROWARD. INCLUDE IN THE "AS-BUILT" PLANS A SEPARATE SHEET SHOWING THE UTILITY EASEMENTS, PROVIDE AS PART OF THE "AS-BUILT" PLANS A SEPARATE SHEET FOR ALL UTILITY EASEMENTS, ATTACHMENT OF THE FIRE HYDRANTS, MALLEABLE SERVICE TAPS, ETC. AS WELL AS EVERY HUNDRED FEET ALONG THE MAIN.

12. THE "AS-BUILT" INFORMATION SHALL BE SUBMITTED WITH FINAL ENGINEERING PERMITS, AND SHALL CONFORM TO THE FLORIDA ADMINISTRATIVE CODE.

B. THE SWPPP MENTIONED ABOVE SHALL BE SUBMITTED TO FDEP TO DESCRIBE PERMIT COVERAGE. SUBSEQUENT TO CONTRACTOR'S SUBMISSION OF THE SWPPP, THE CONTRACTOR SHALL SUBMIT A COPY OF THE SWPPP FROM 06421300001 TO FDEP TO DESCRIBE PERMIT COVERAGE. SUBSEQUENT TO CONTRACTOR'S SUBMISSION OF THE SWPPP, THE CONTRACTOR SHALL SUBMIT A COPY OF THE SWPPP FROM <http://www.dep.state.fl.us/water/watercons/permindex.htm>.

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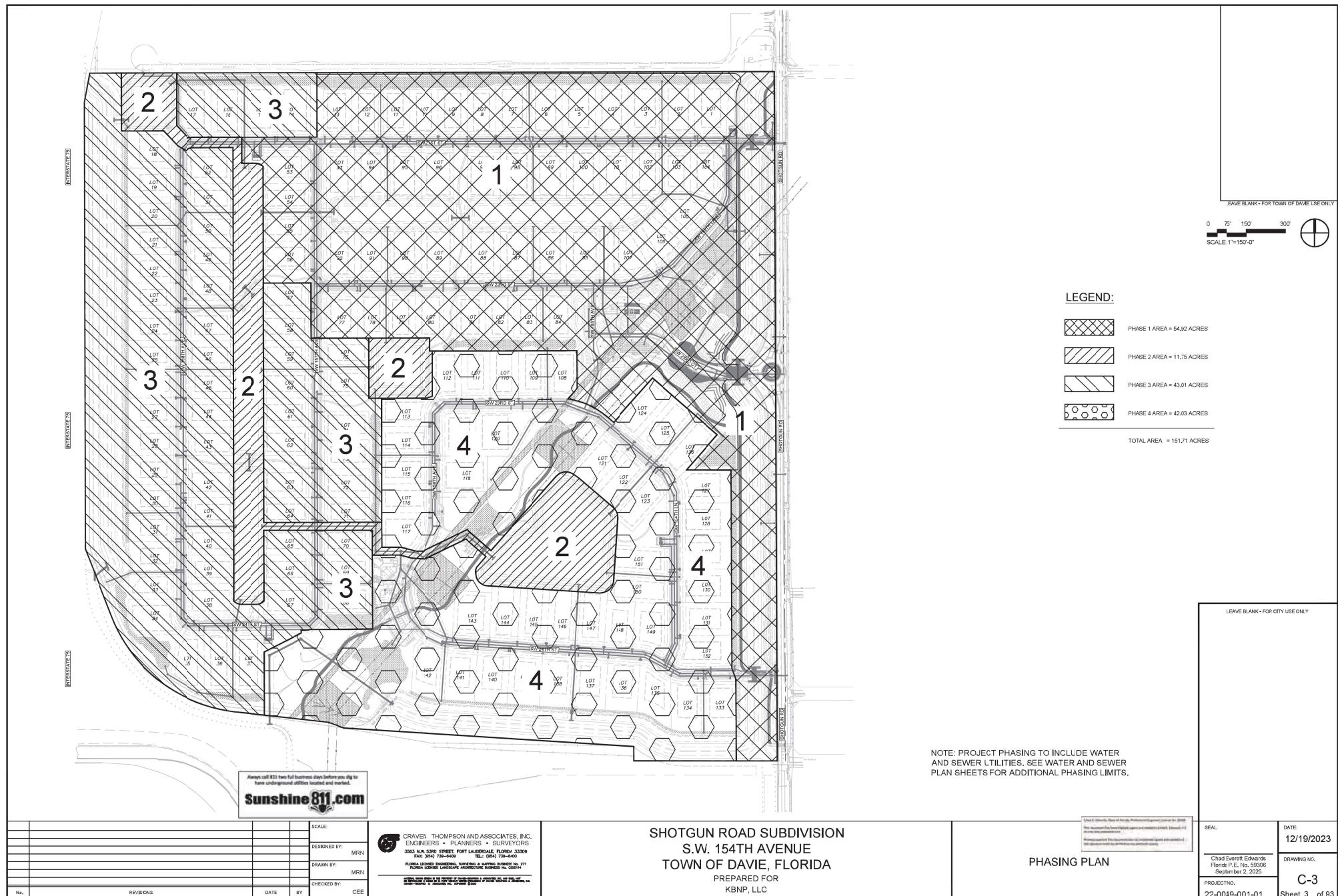
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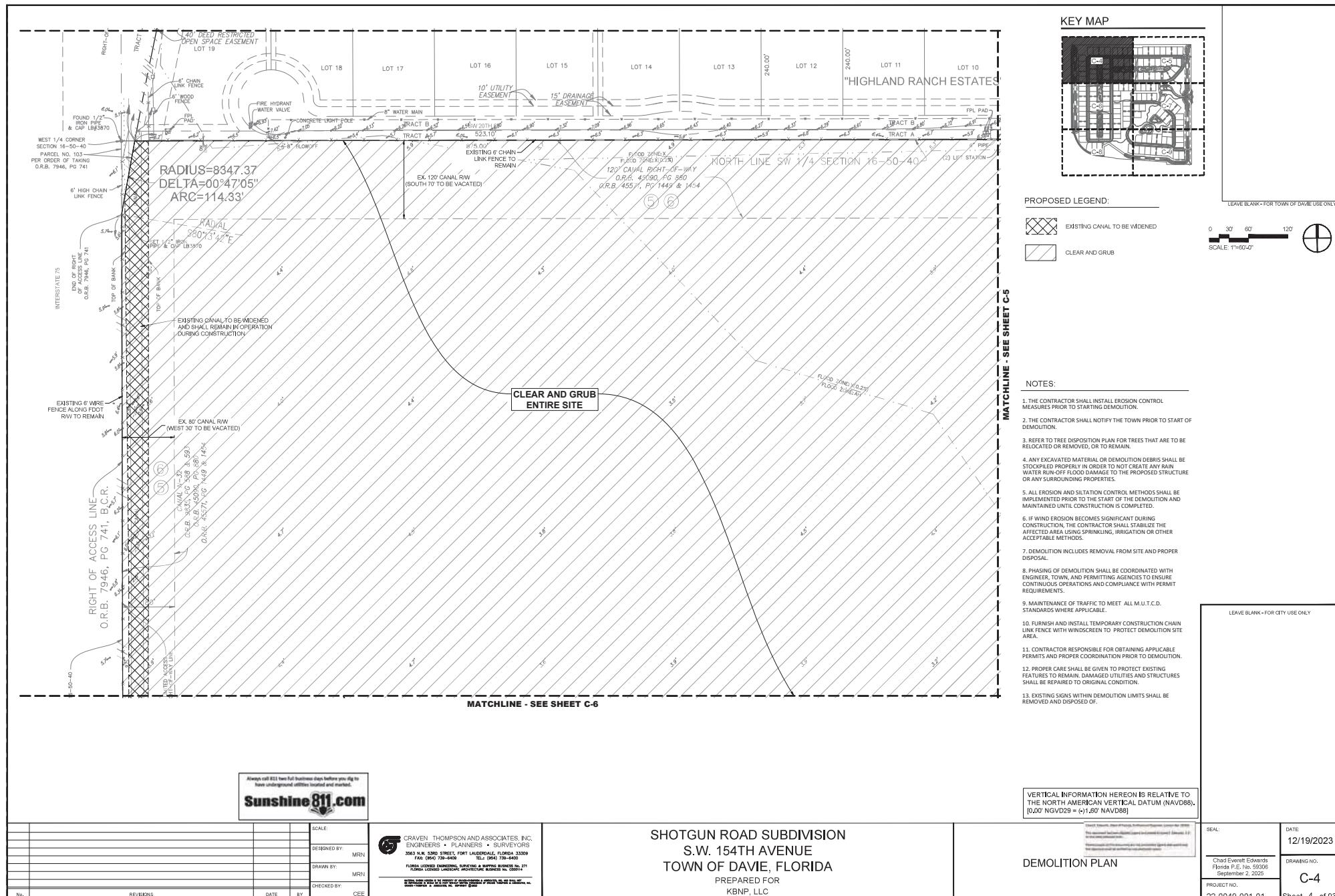
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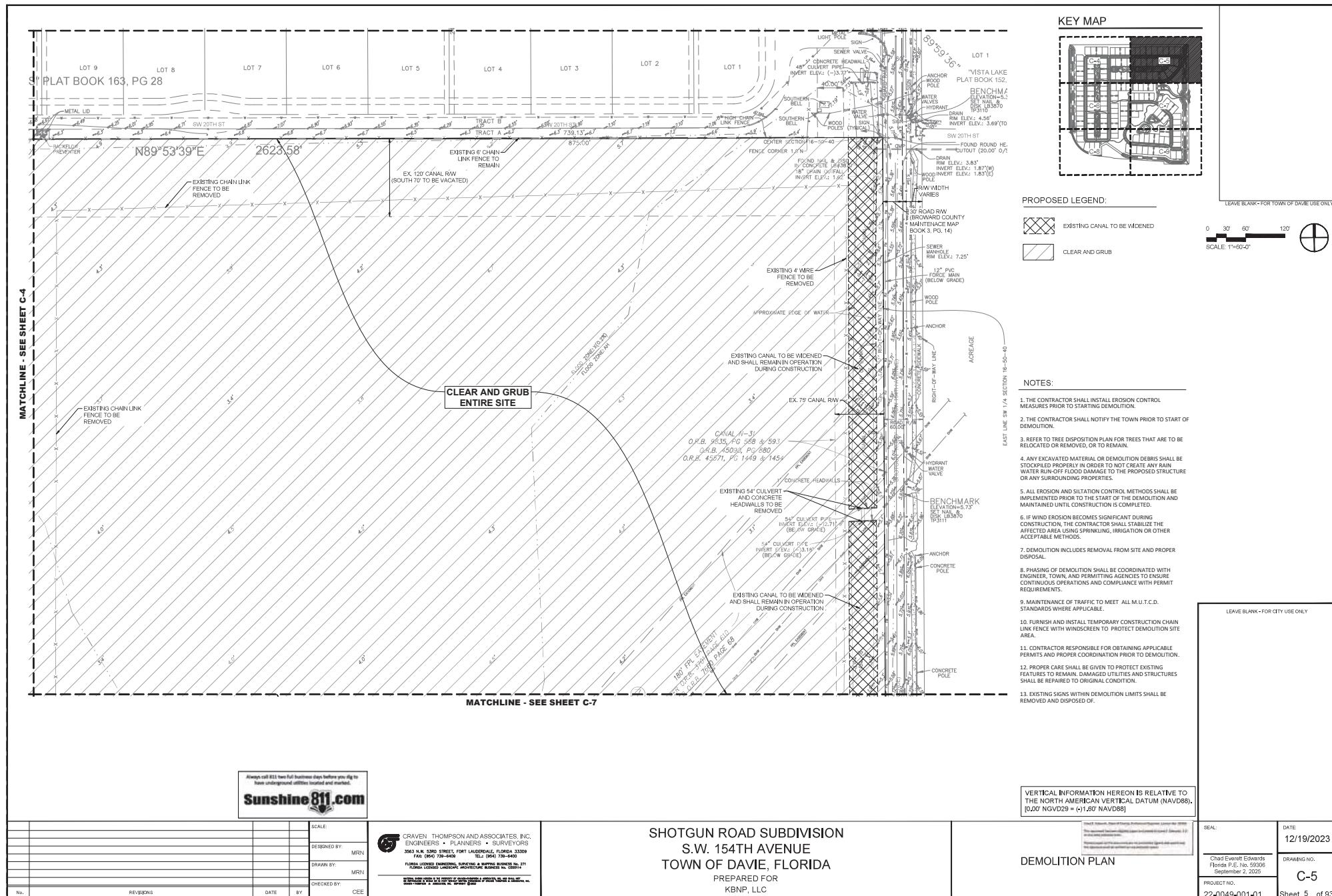
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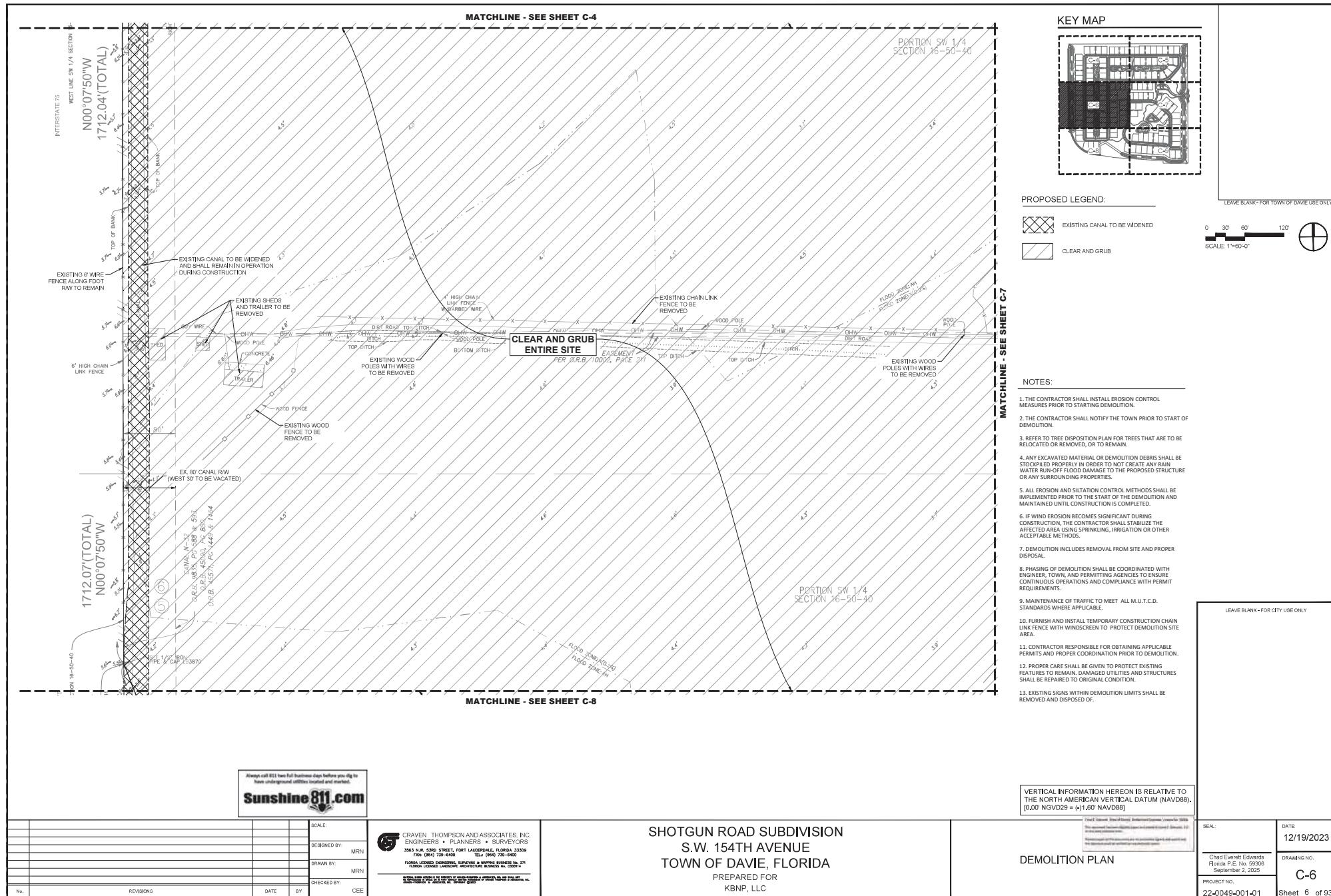
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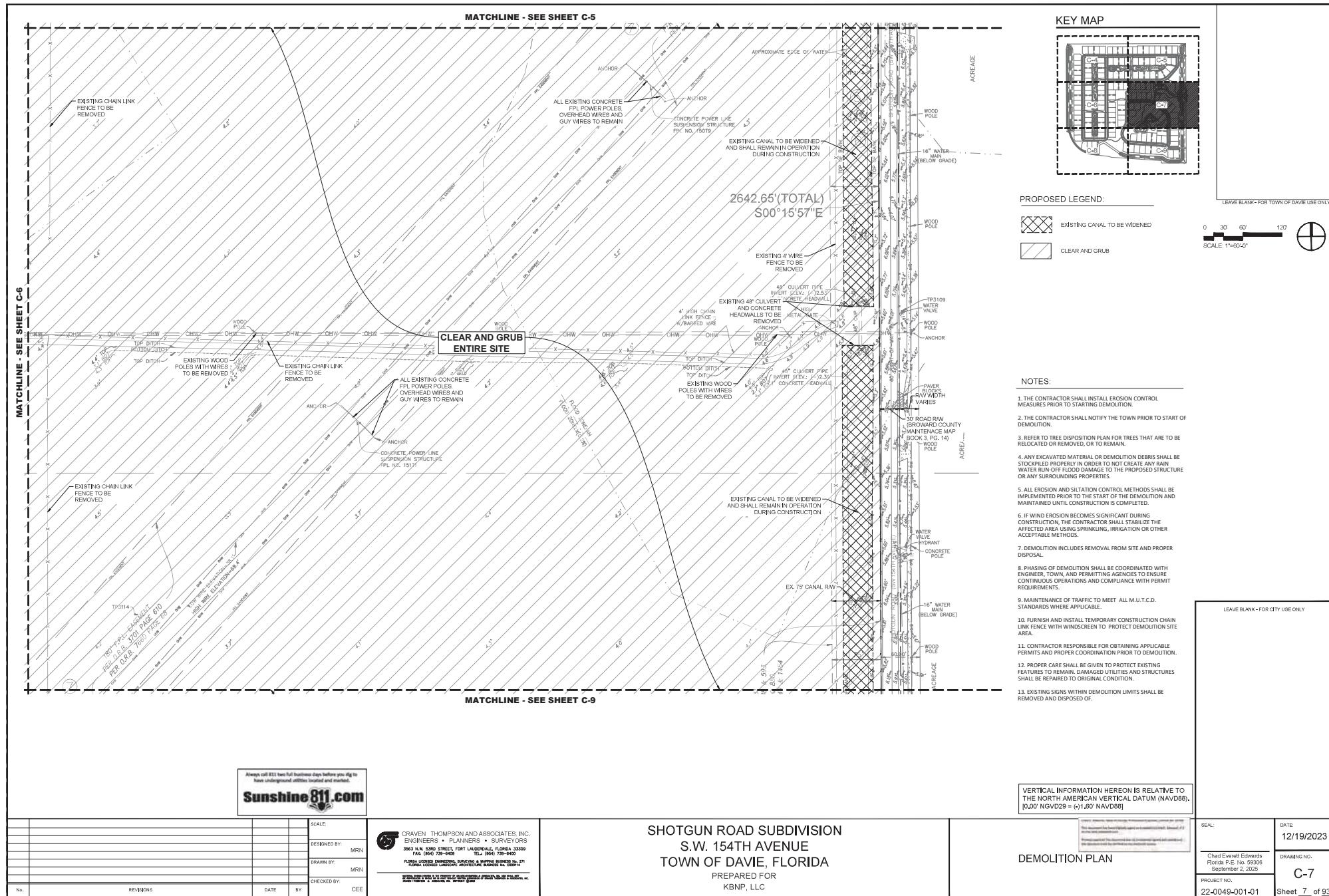
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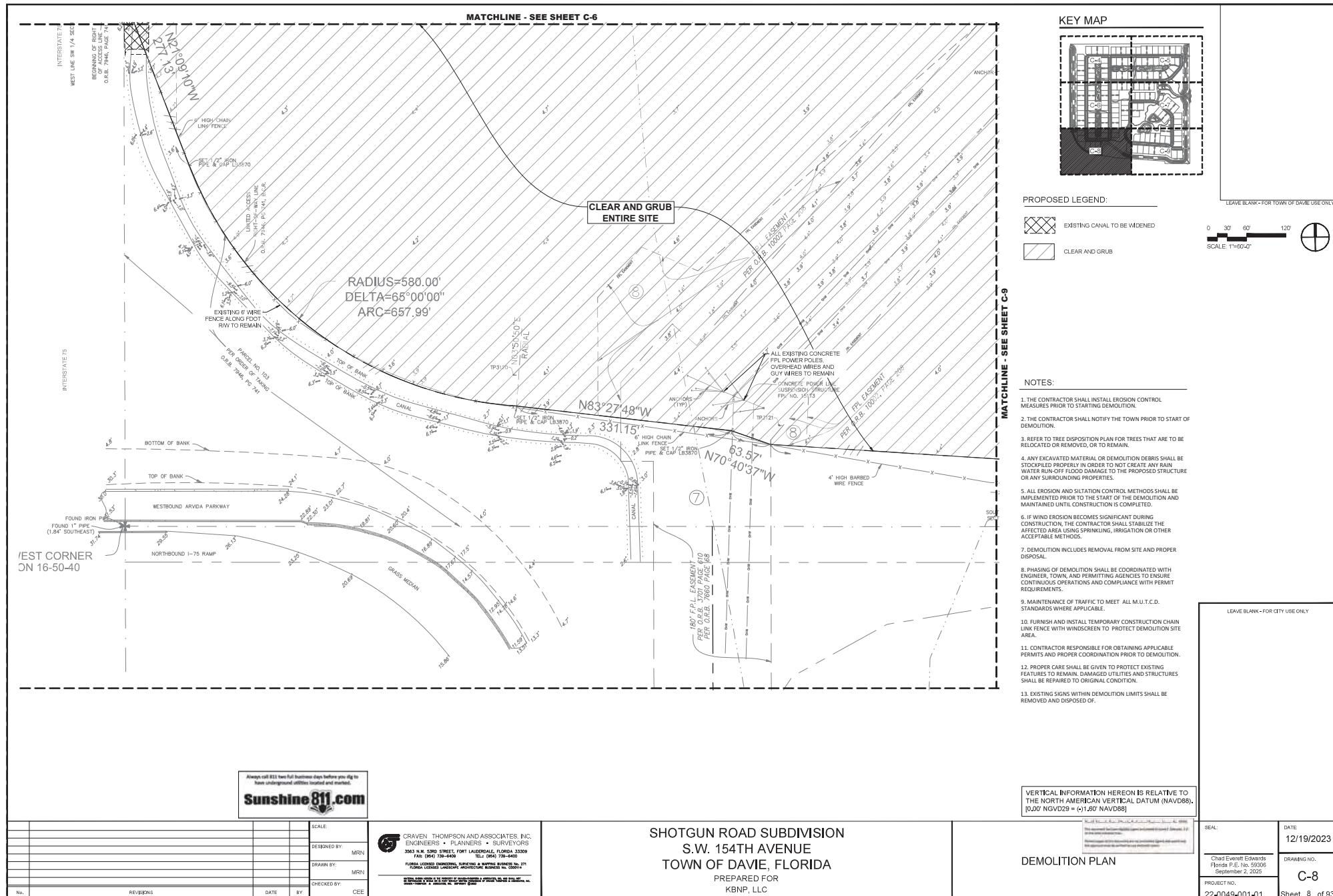


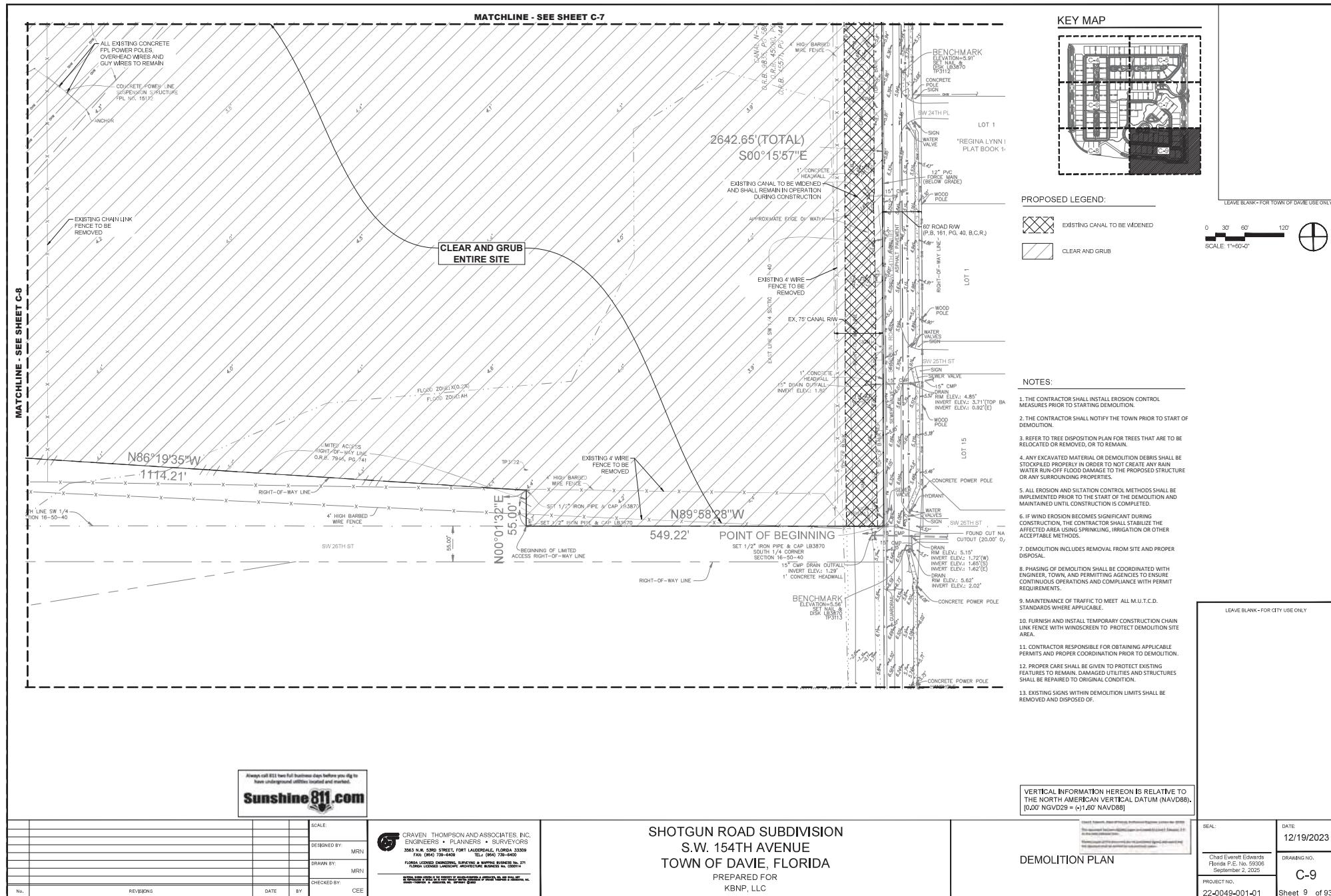


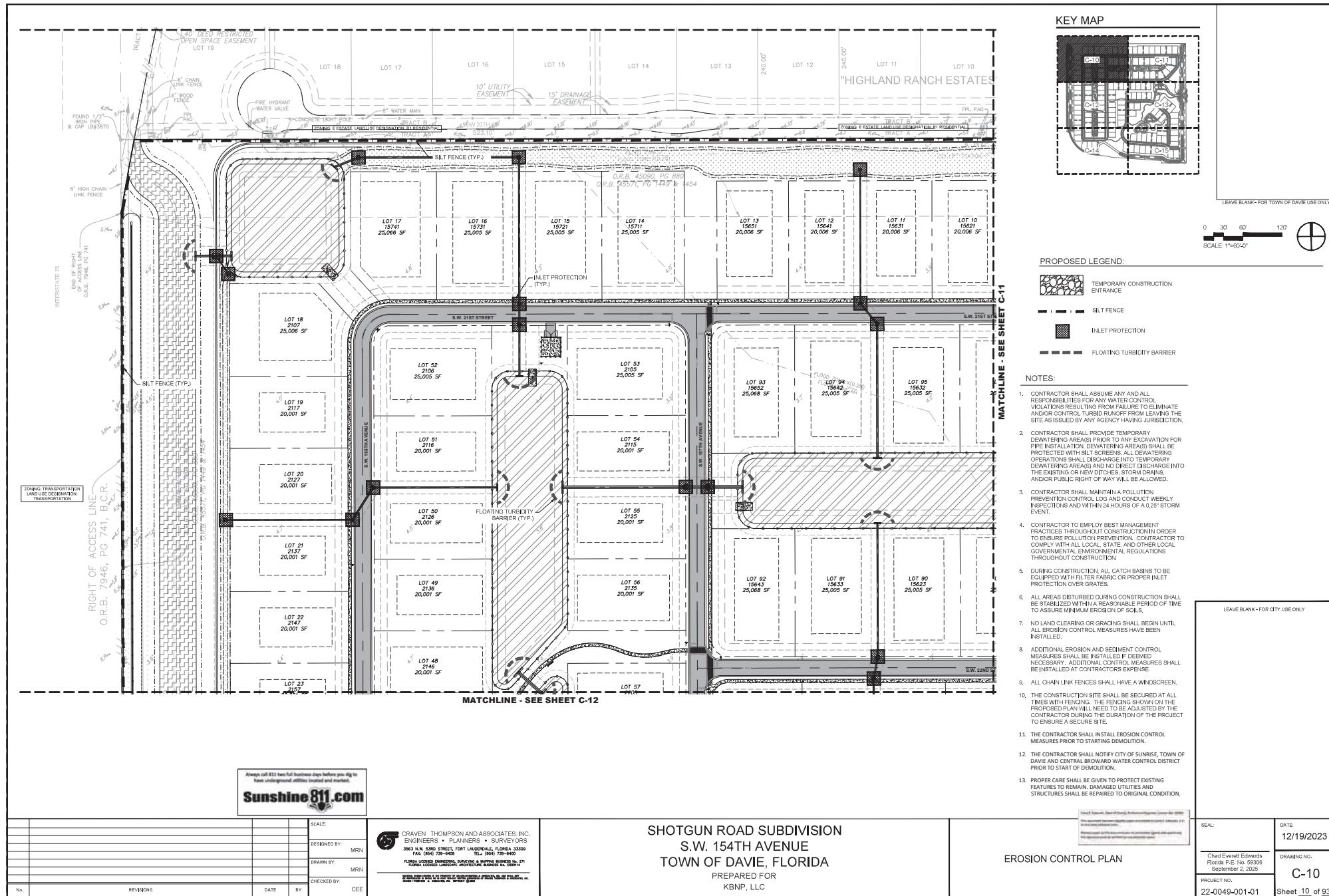


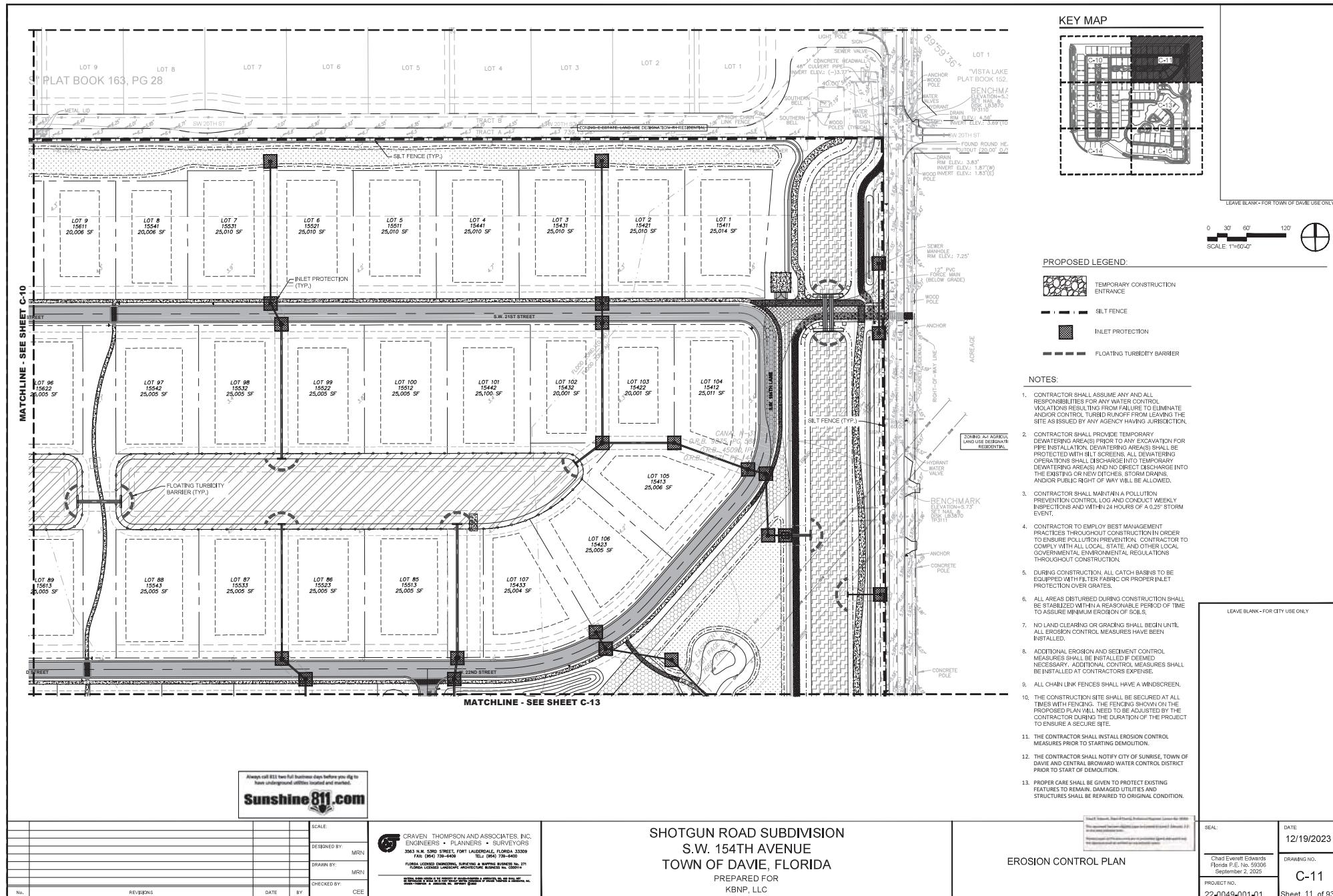


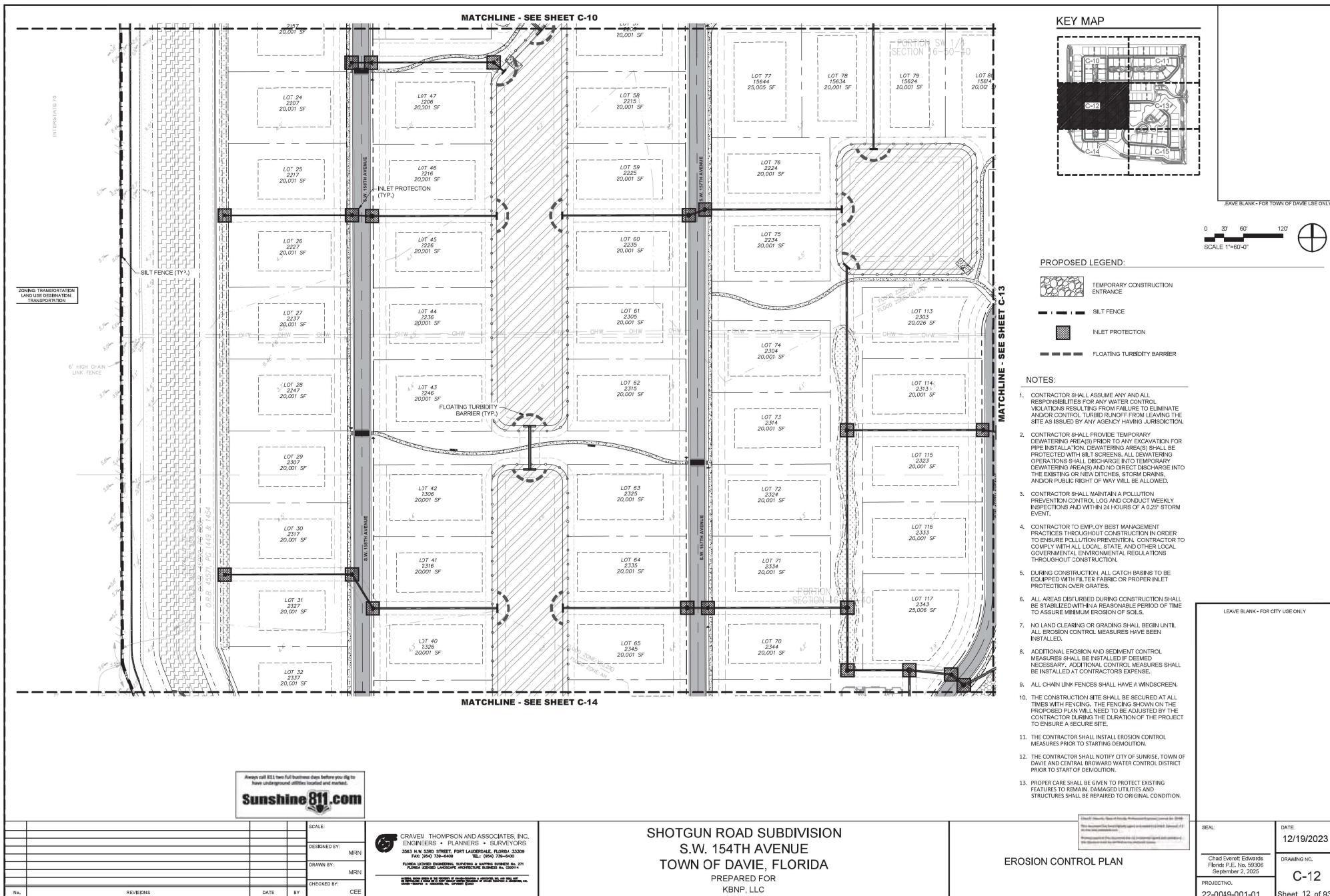


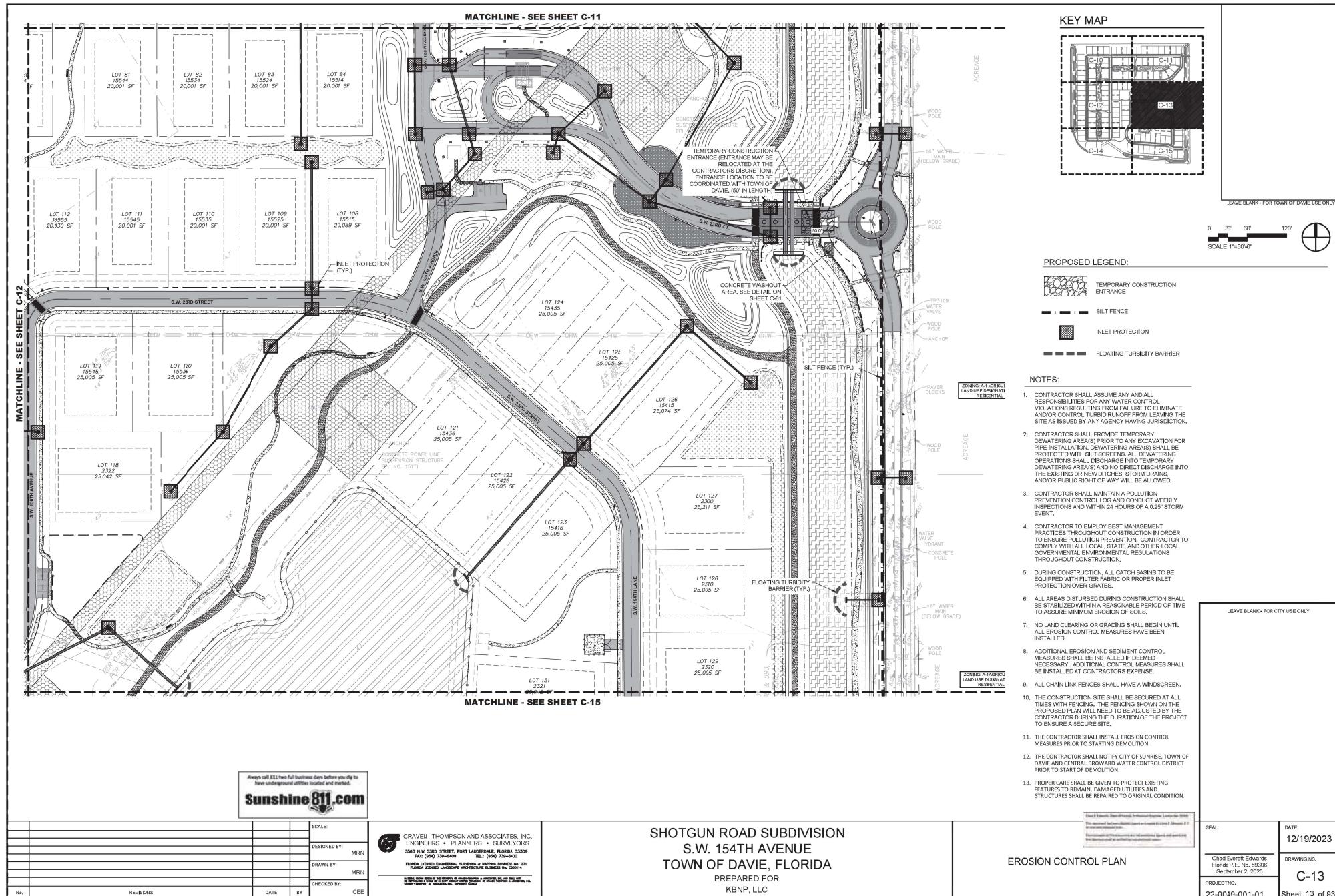


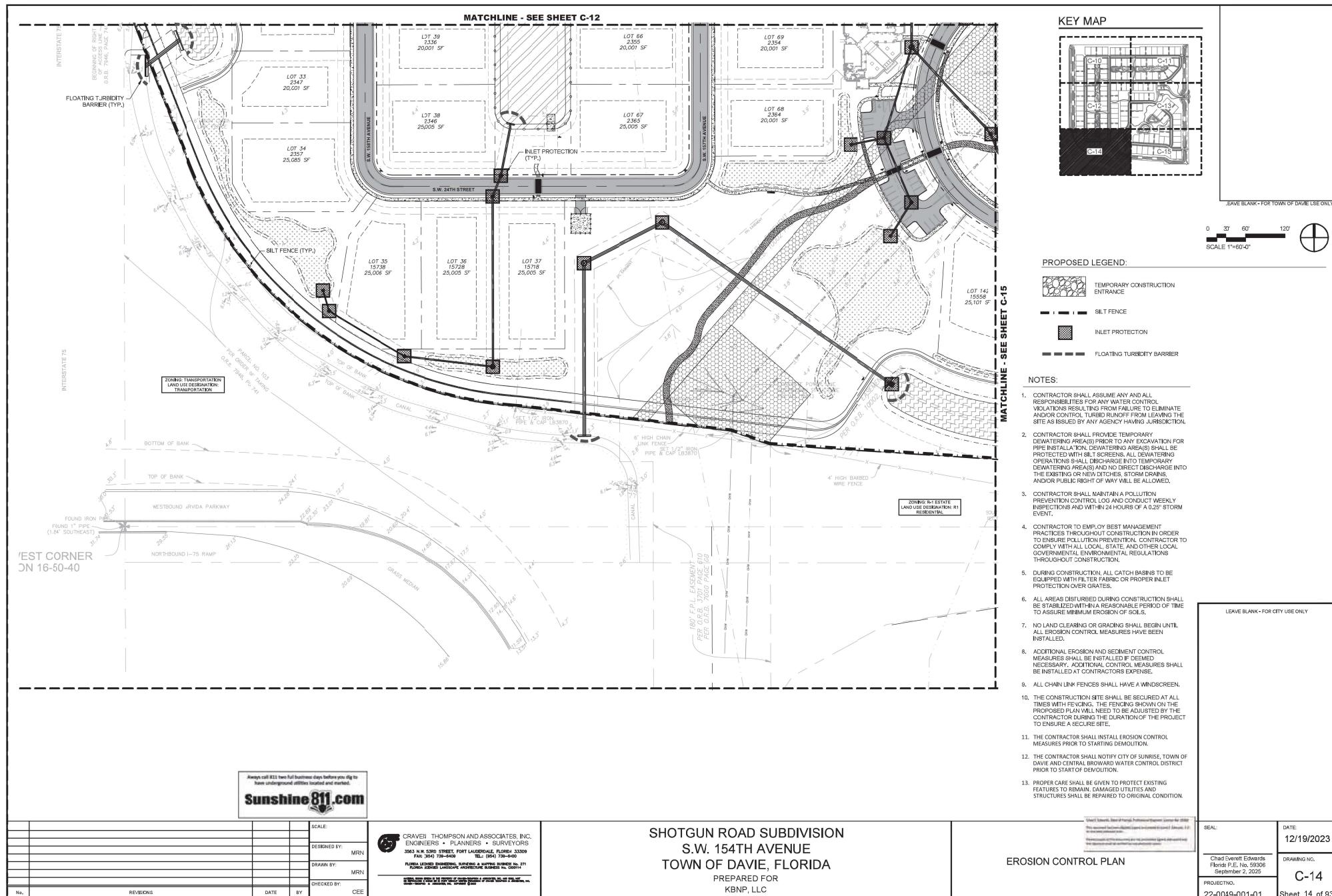


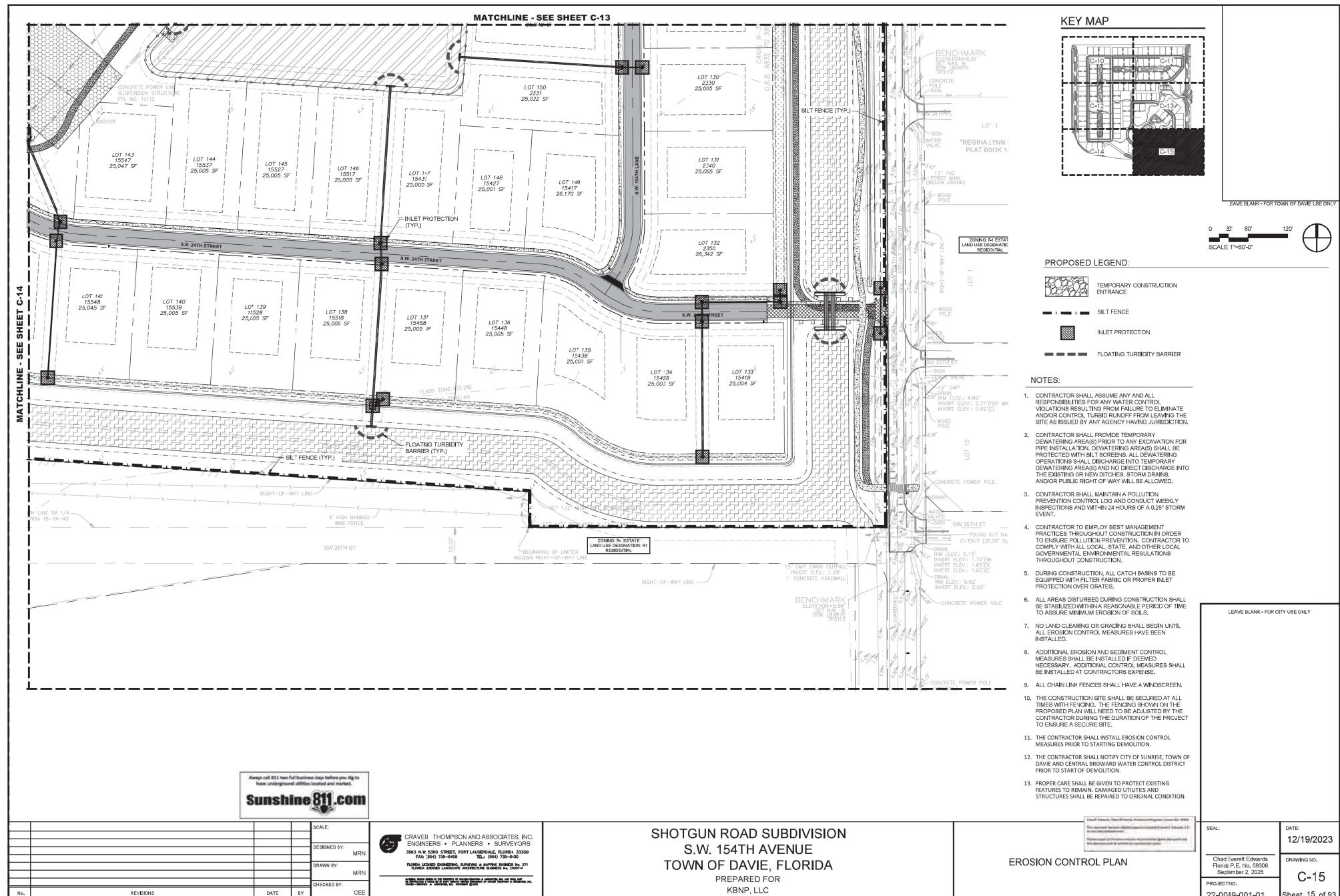




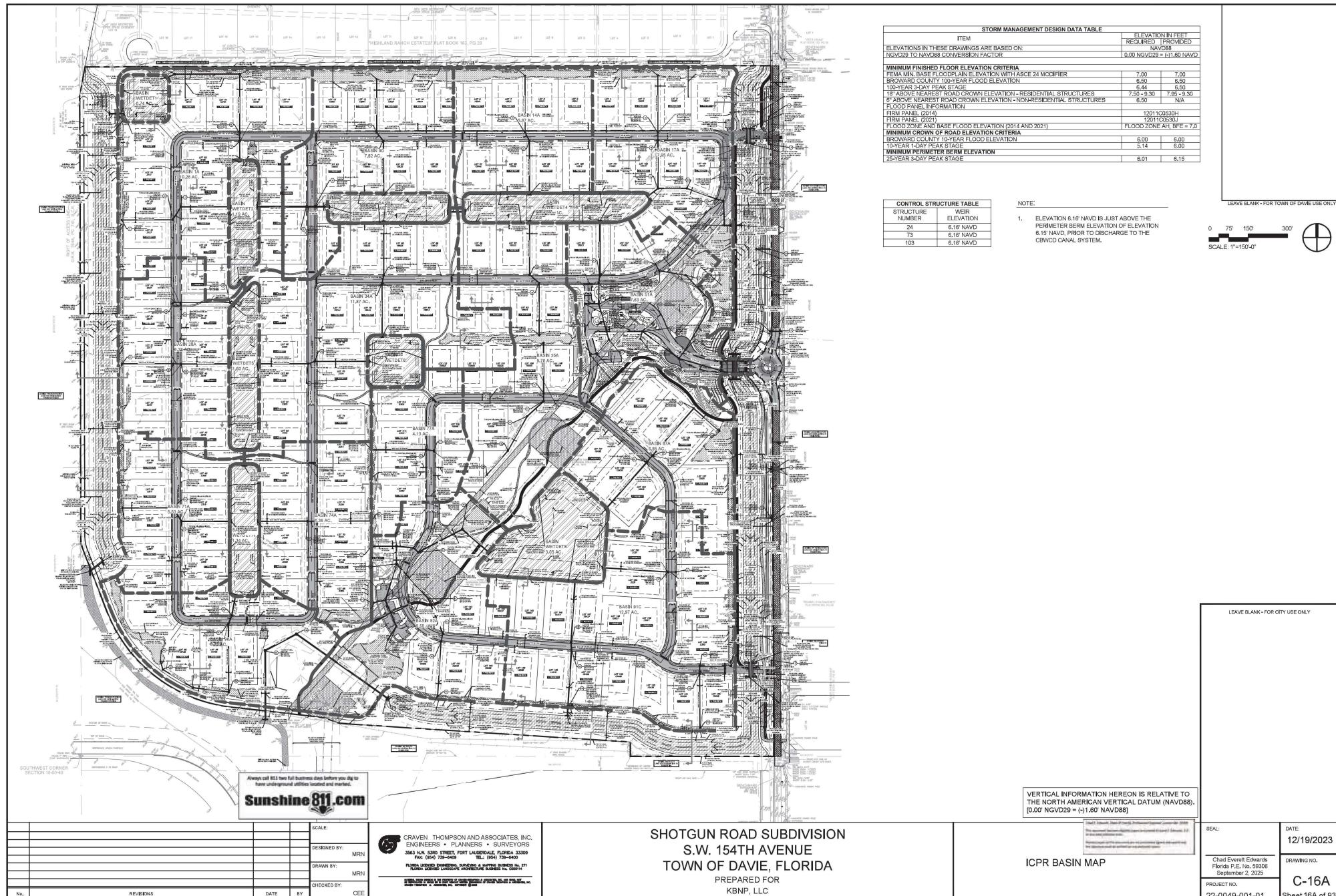


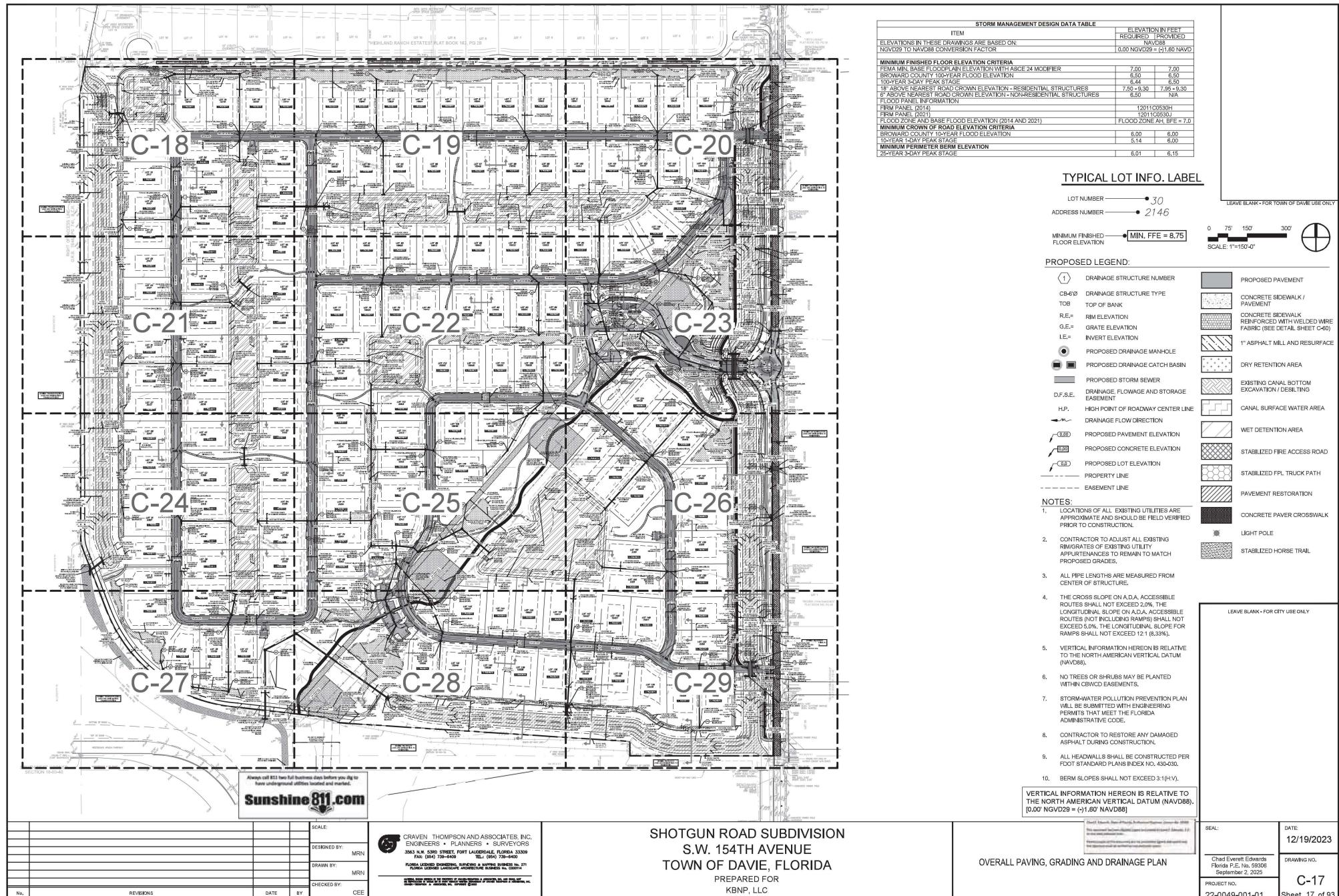


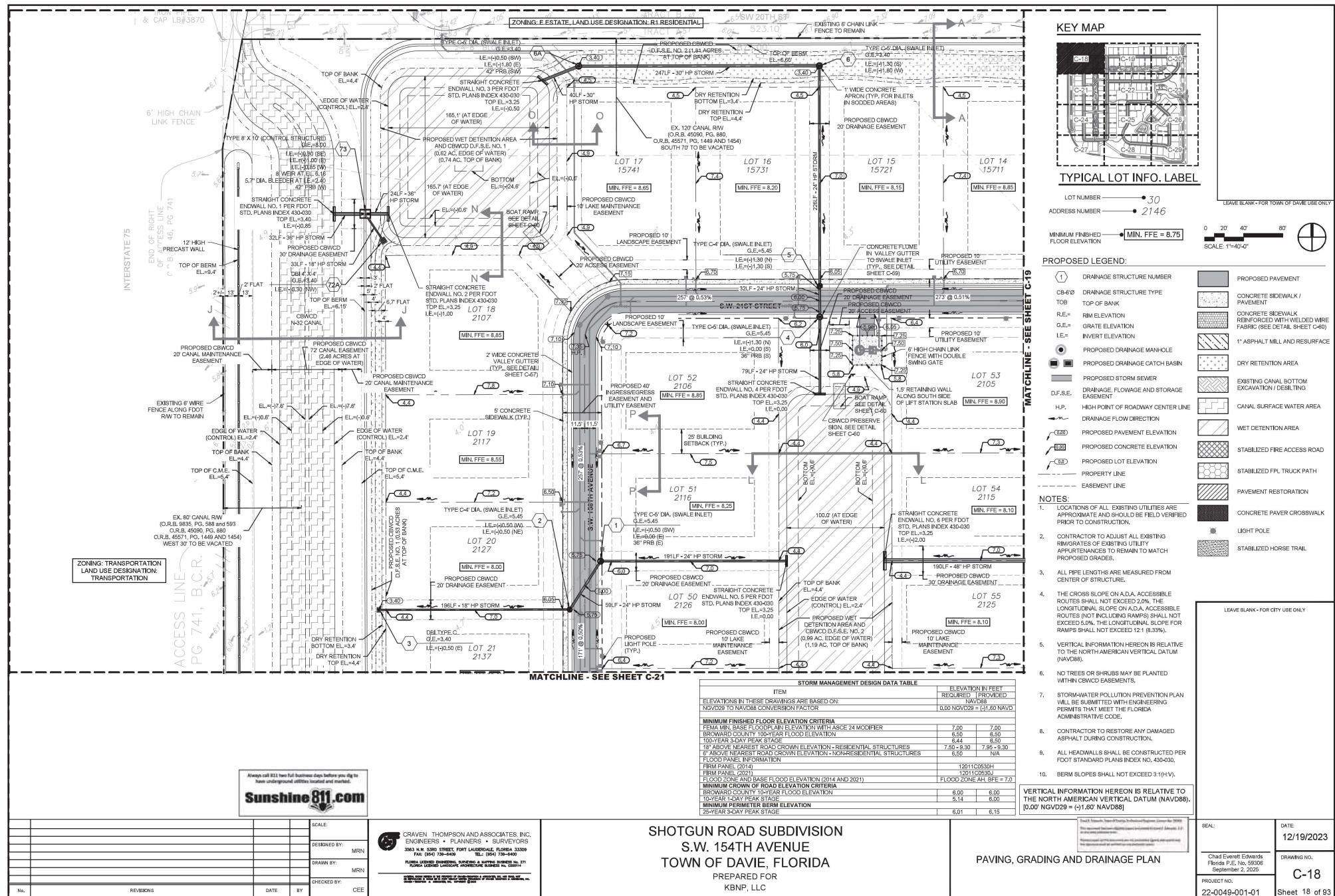


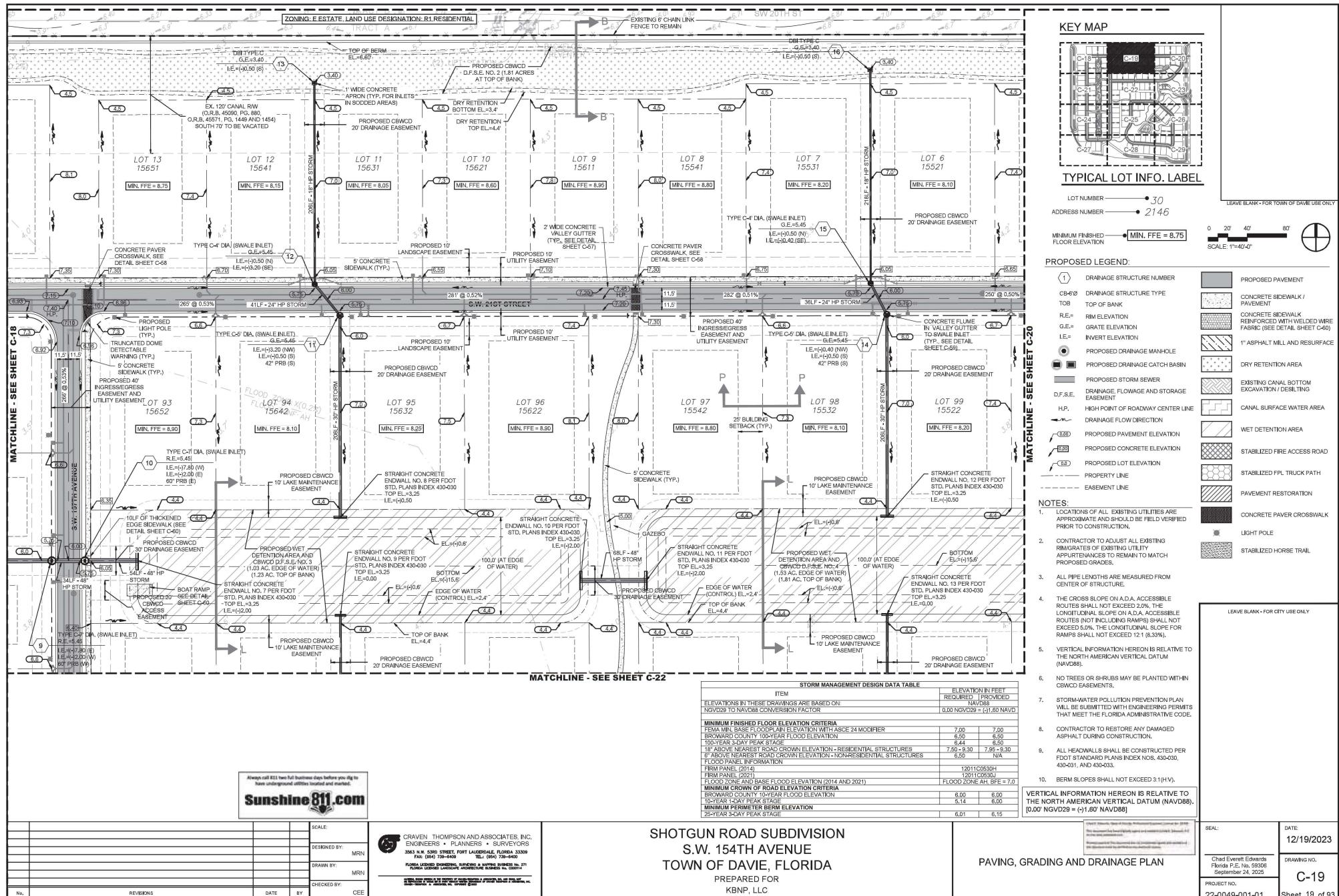


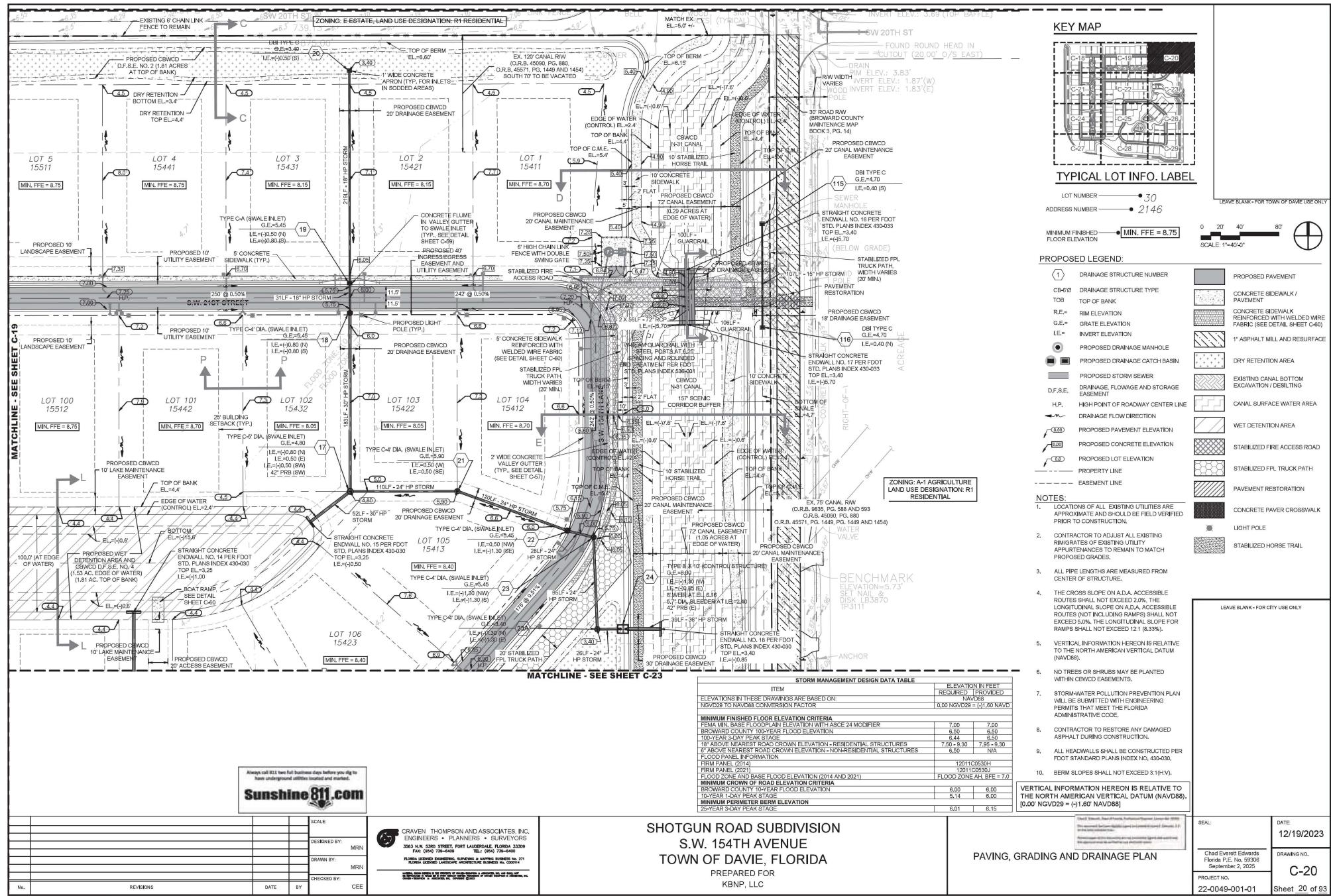


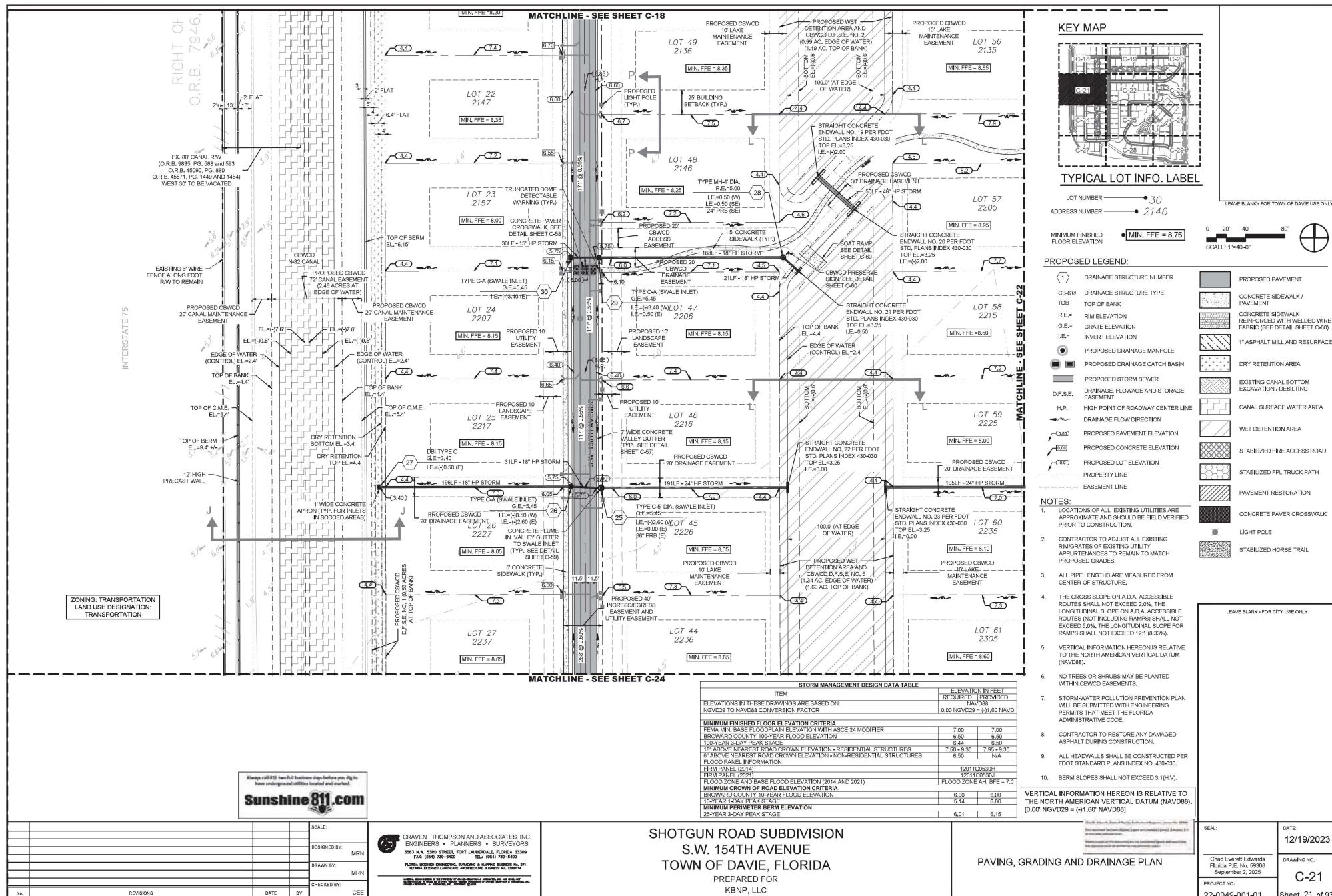


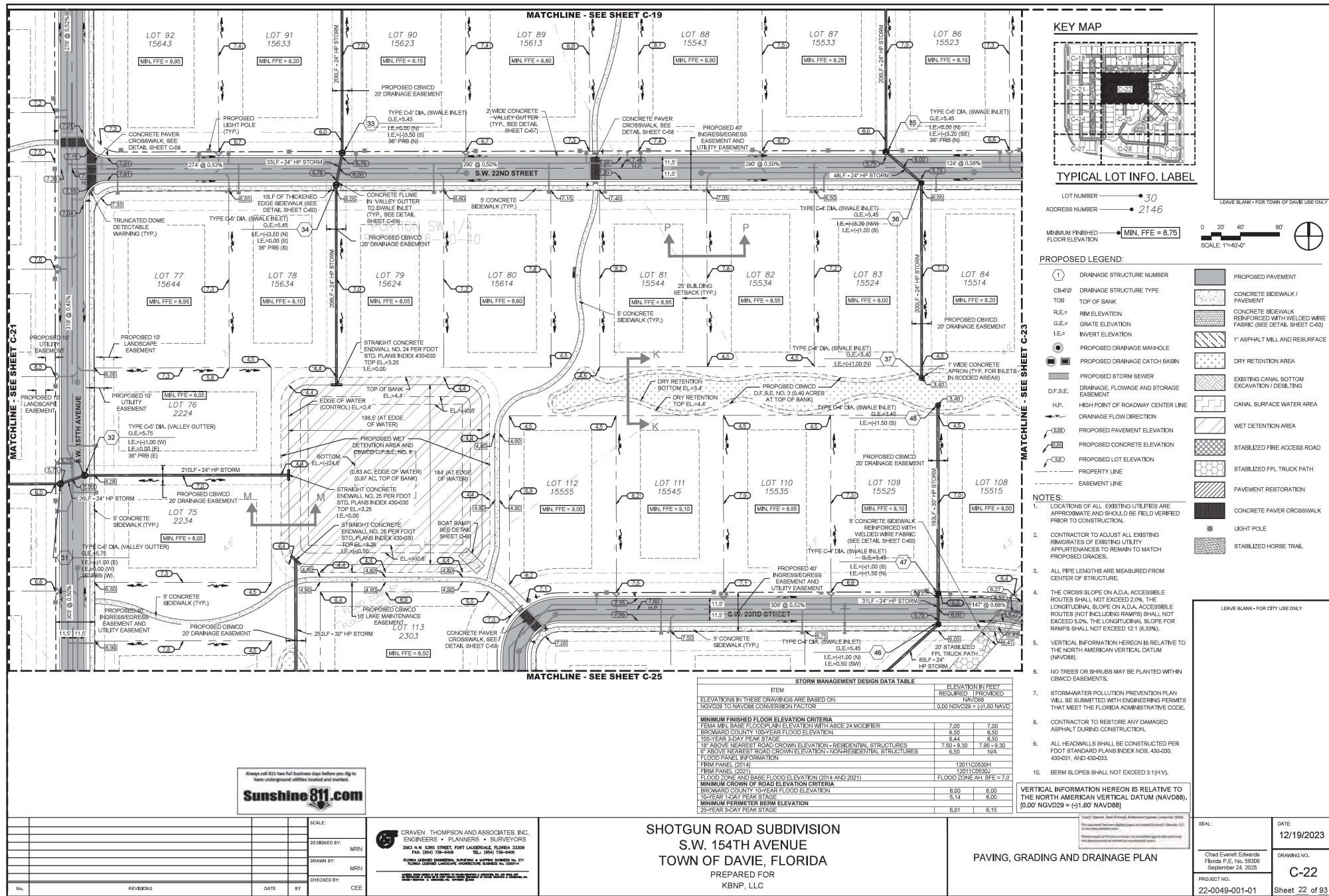


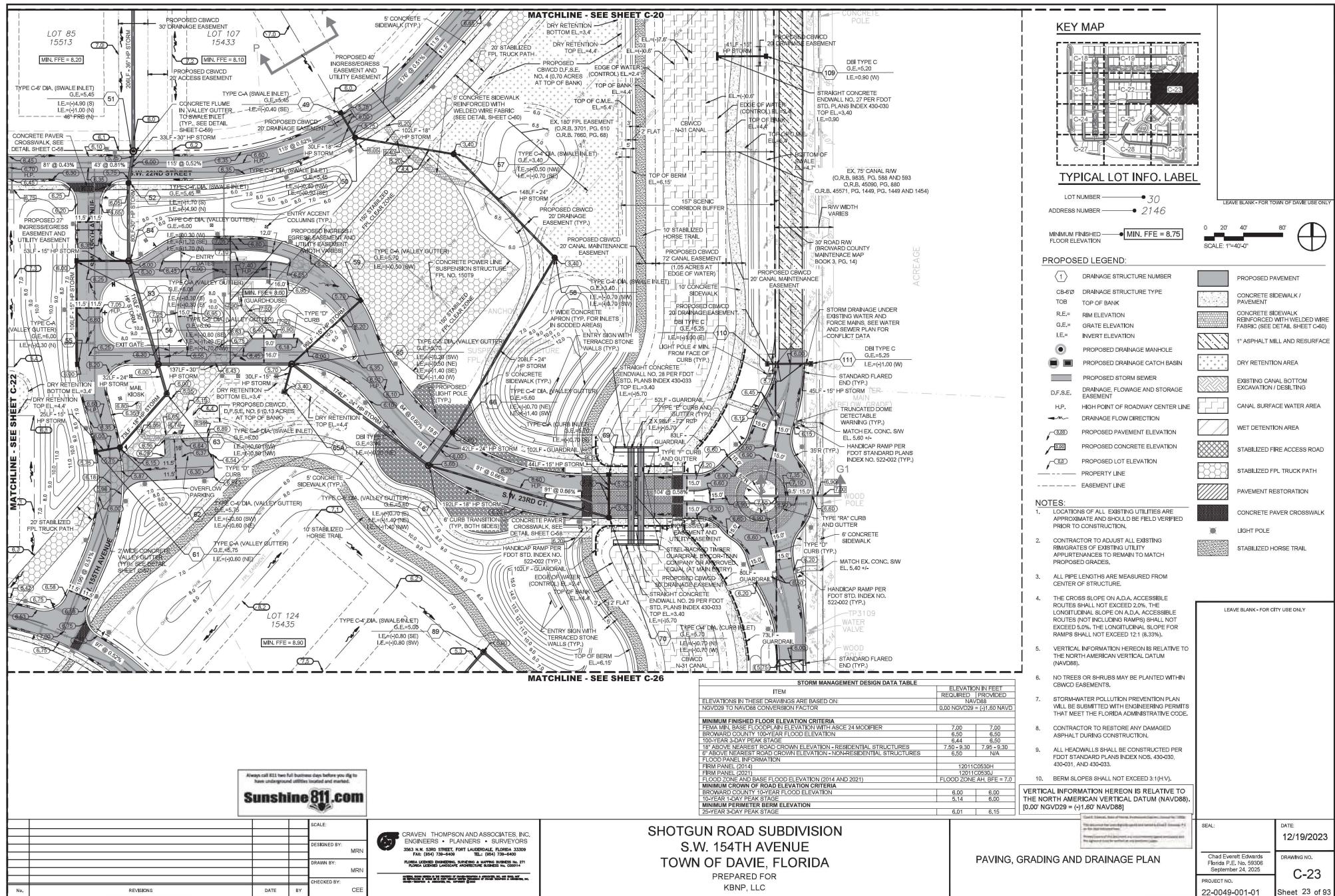


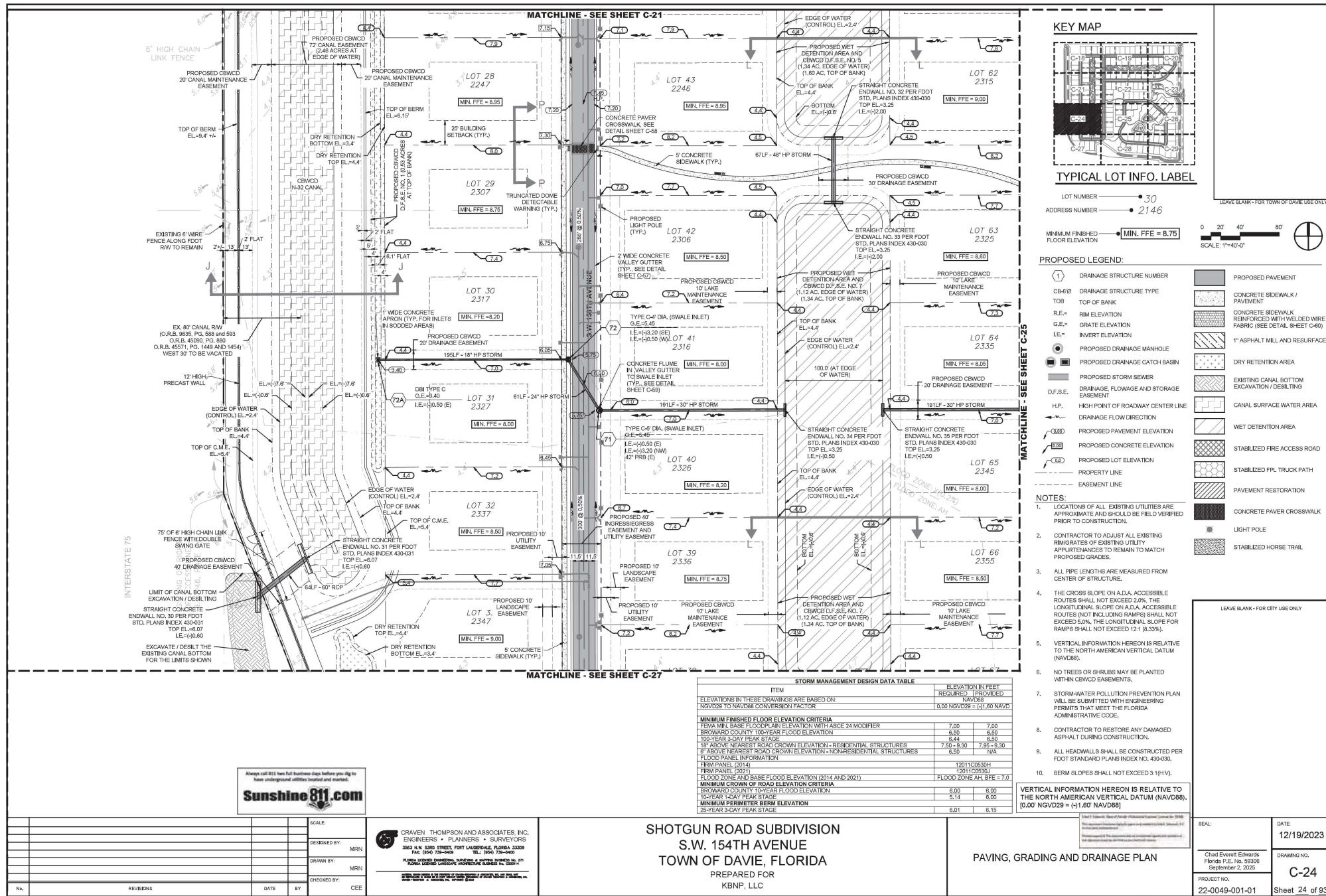


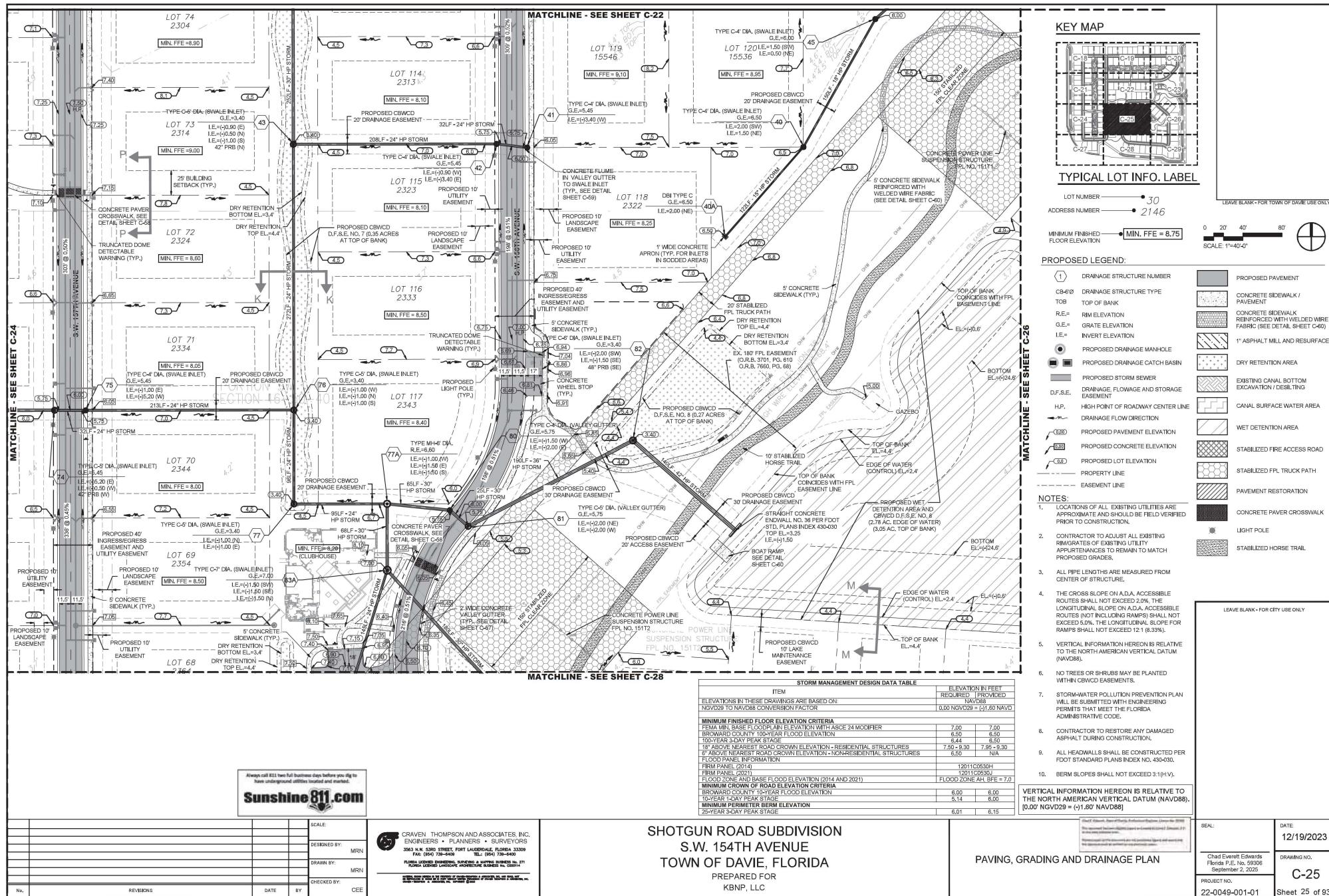


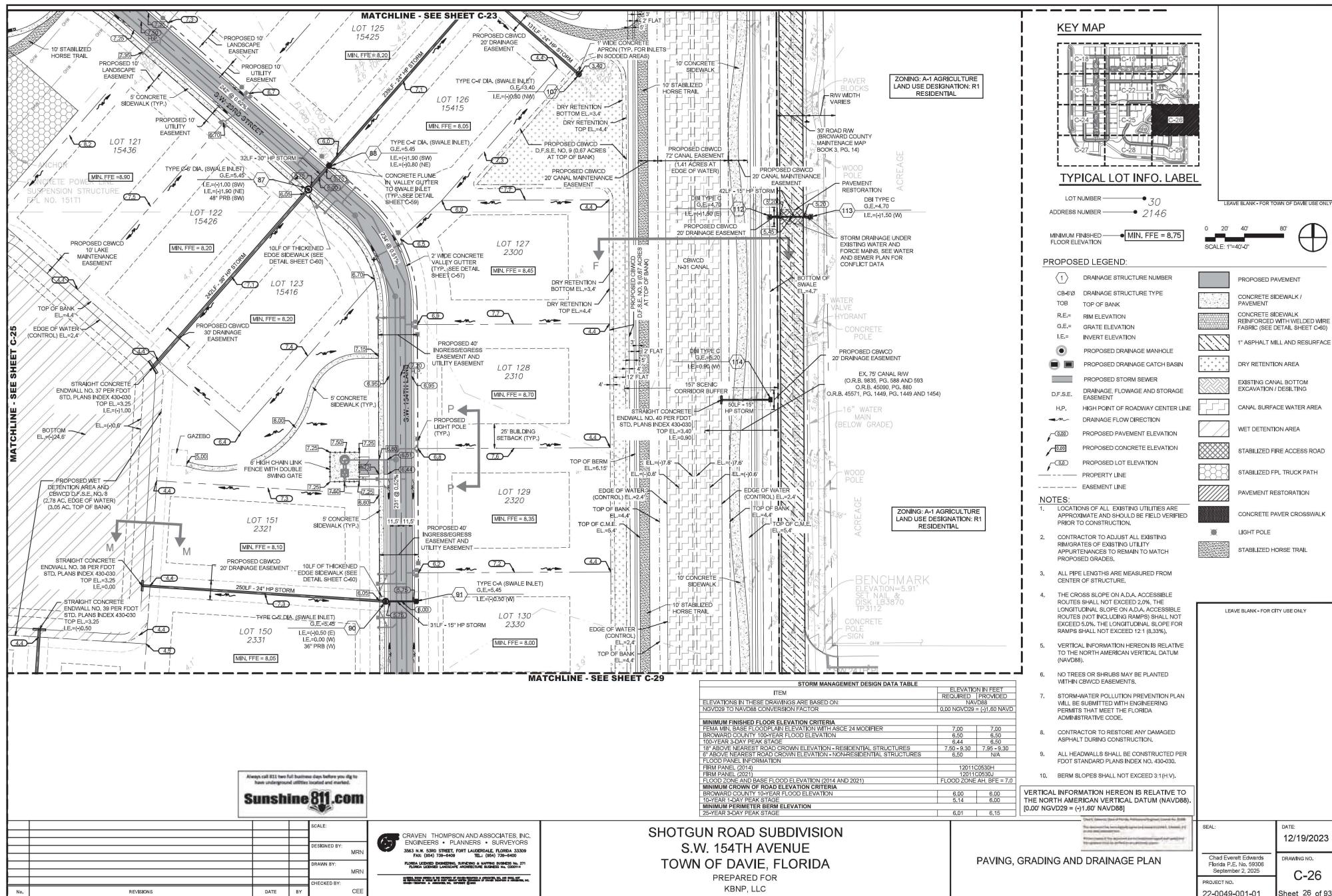


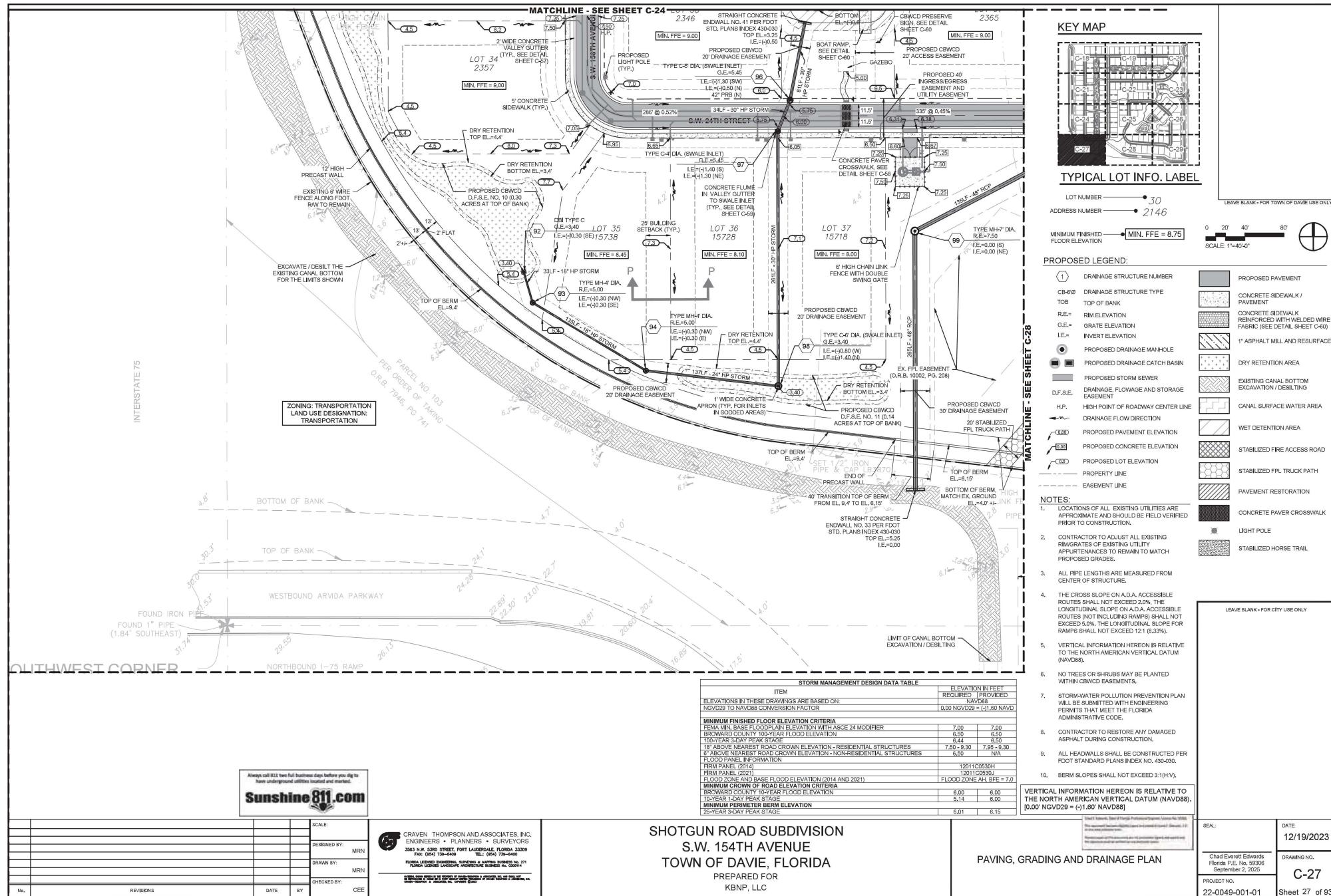


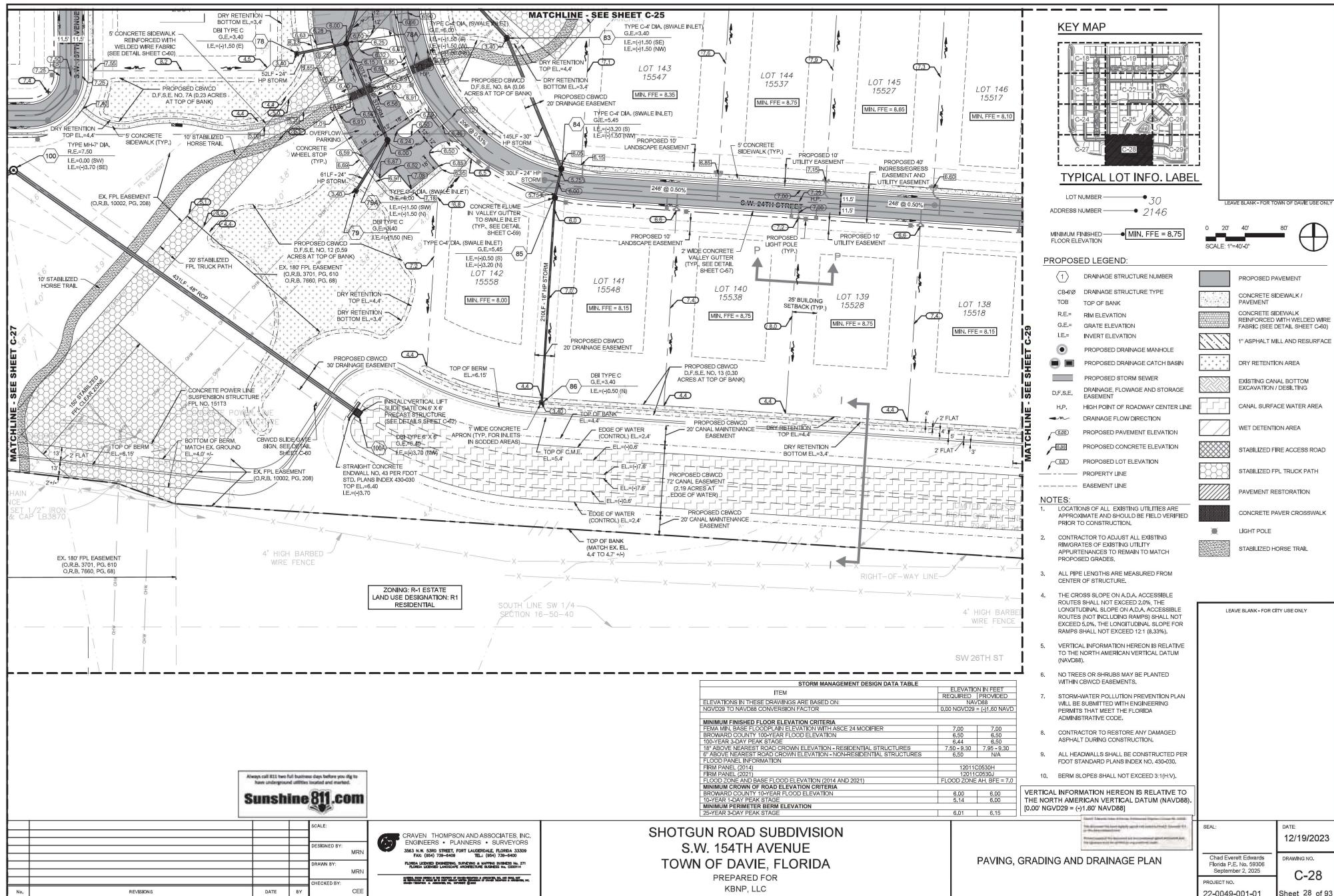


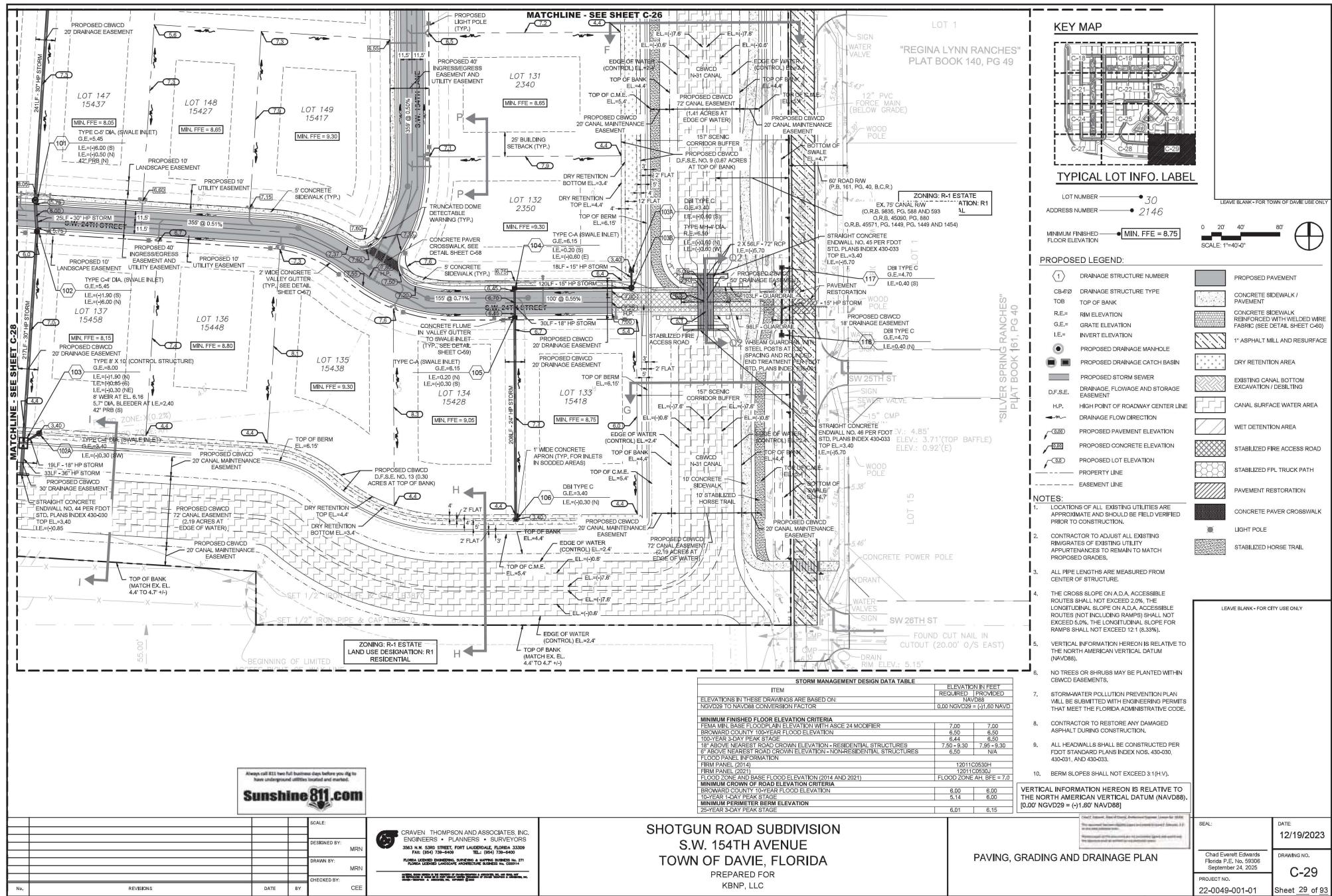


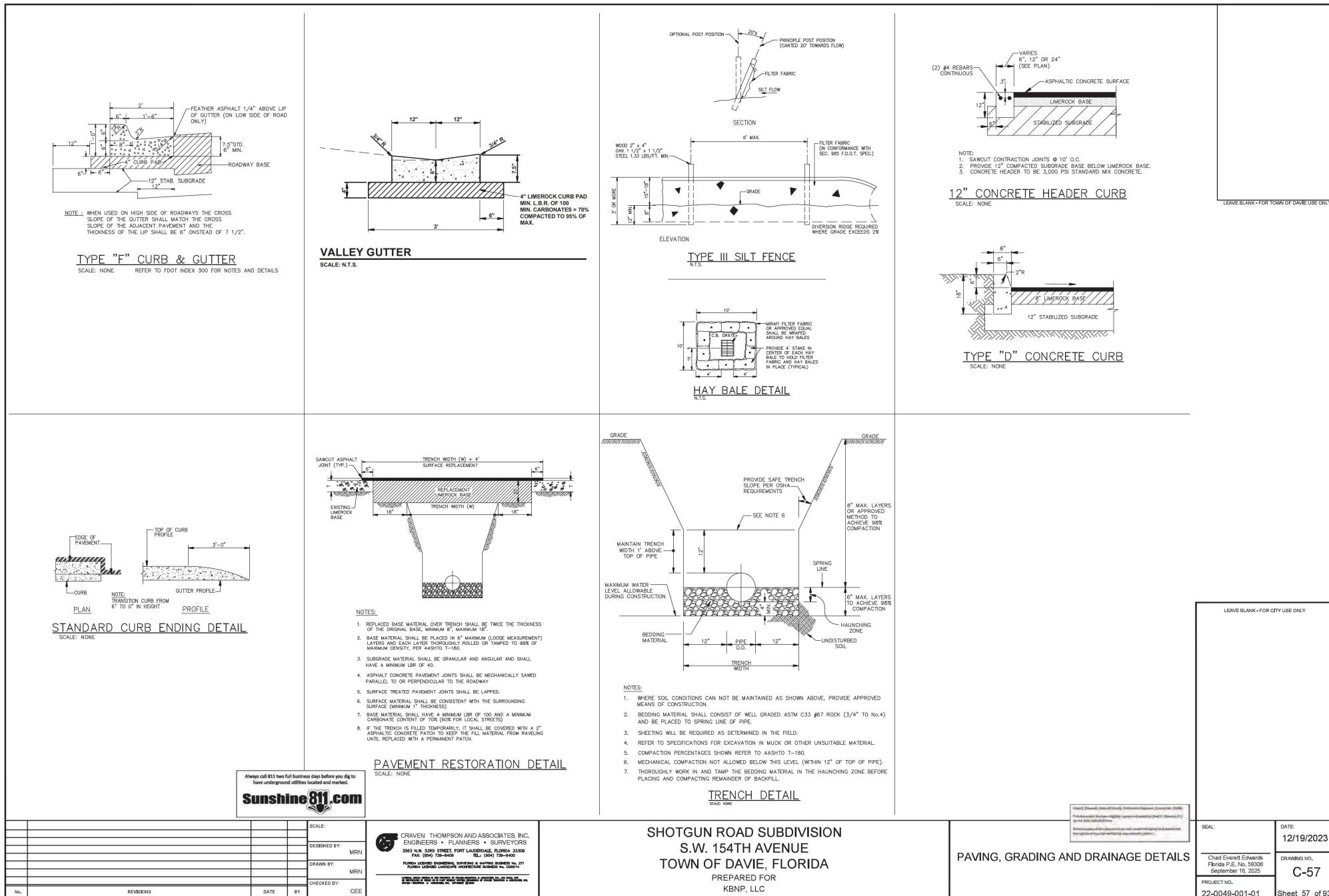












TYPICAL ASPHALT PAVEMENT SECTION
SCALE: NONE

TYPICAL STABILIZED SOD SECTION (CANAL MAINTENANCE EASMENTS AND LAKE MAINTENANCE EASMENTS)
SCALE: NONE

TYPICAL 6' HIGH FENCE SECTION
N.T.S.

TYPICAL FENCE POST CONNECTION AT CONCRETE
N.T.S.

10' TO 20' SINGLE SWING GATE
N.T.S.

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CONCRETE PAVER PAVEMENT SECTION
SCALE: NONE
TO BE USED IN VEHICULAR AREAS

TYPICAL STABILIZED SOD SECTION (FIRE ACCESS ROADS)
SCALE: NONE

IN CASE OF EMERGENCY CALL OWNER: PHONE: IN CASE OF OVERFLOW CALL MAINTENANCE COMPANY: PHONE:

CHAIN LINK FENCE DETAILS (FOR LIFT STATION ENCLOSURES)
SCALE: NONE

TYPICAL PAVEMENT INTERFACE
SCALE: NONE

TYPICAL STABILIZED SECTION (FPL TRUCK PATHS/CLEAR ZONES)
SCALE: NONE

NOTES:

- 12" STABILIZED SUBGRADE LBR 40, ALTERNATE MIRAFI PS380 CAN BE USED INDER SPECIFIC CONDITIONS, AS APPROVED BY FPL.
- INSTALL 8" OF LIMEROCK BASE COMPACTED LBR 100.
- INSTALL LOOSE #4 BALLAST ROCK OVER COMPACTED SURFACE.
- REMOVE EXISTING GRASS/VEGETATION AND UNSUITABLE SOILS, LEVEL AND COMPACT EXISTING GRADE, PROOF ROLL IF EXISTING DENSITIES CAN NOT BE ACHIEVED DUE TO MOISTURE.

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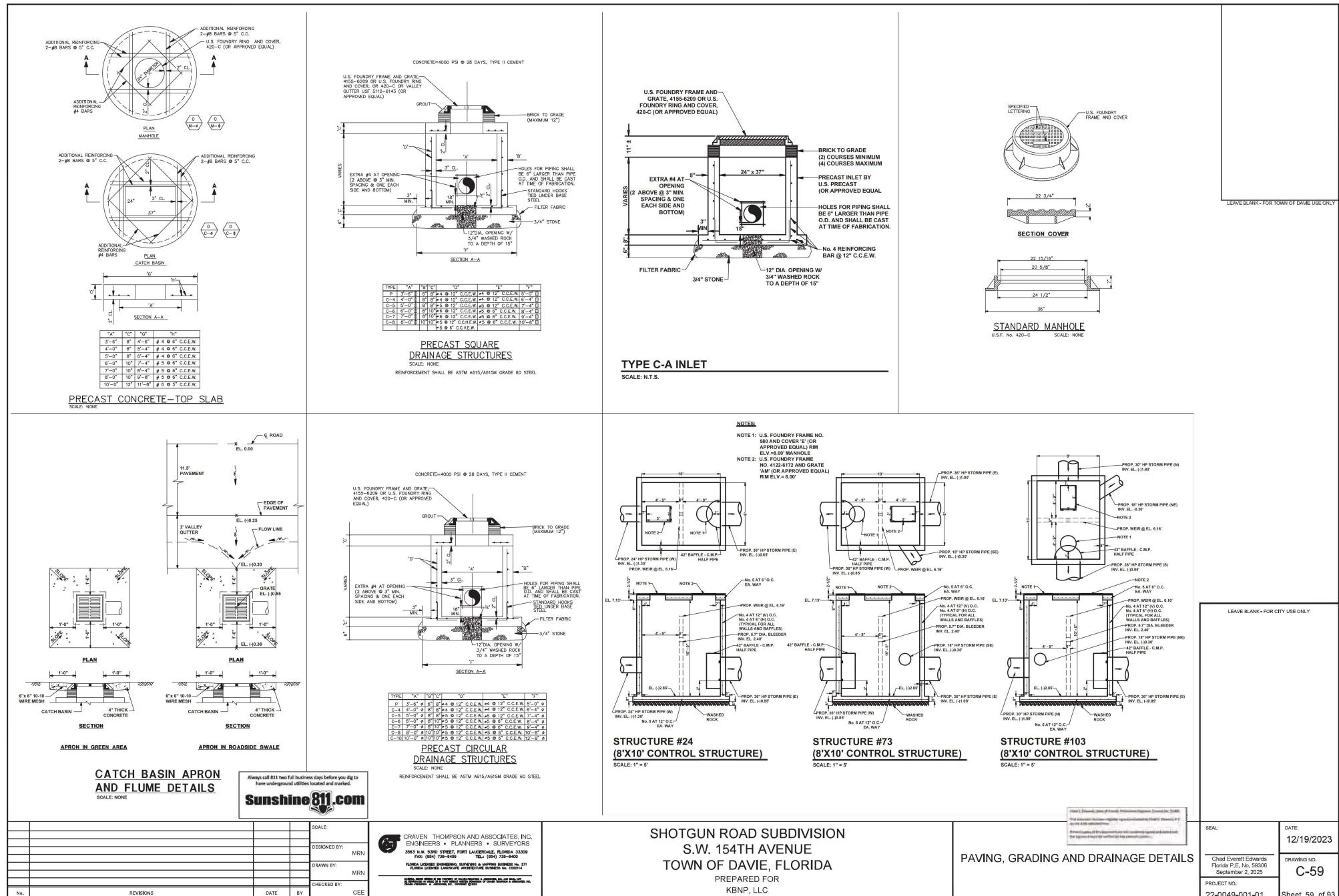
CRAVEN THOMPSON AND ASSOCIATES, INC.
ENGINEERS • PLANNERS • SURVEYORS
3583 N.W. 53RD STREET, FORT LAUDERDALE, FLORIDA 33309
(305) 738-8400 • FAX: (305) 738-8401
FLORIDA LICENSED ENGINEERS & SURVEYORS REGISTRATION NO. 271
FLORIDA LICENSED LANDSCAPE ARCHITECTURE BUSINESS NO. 000114

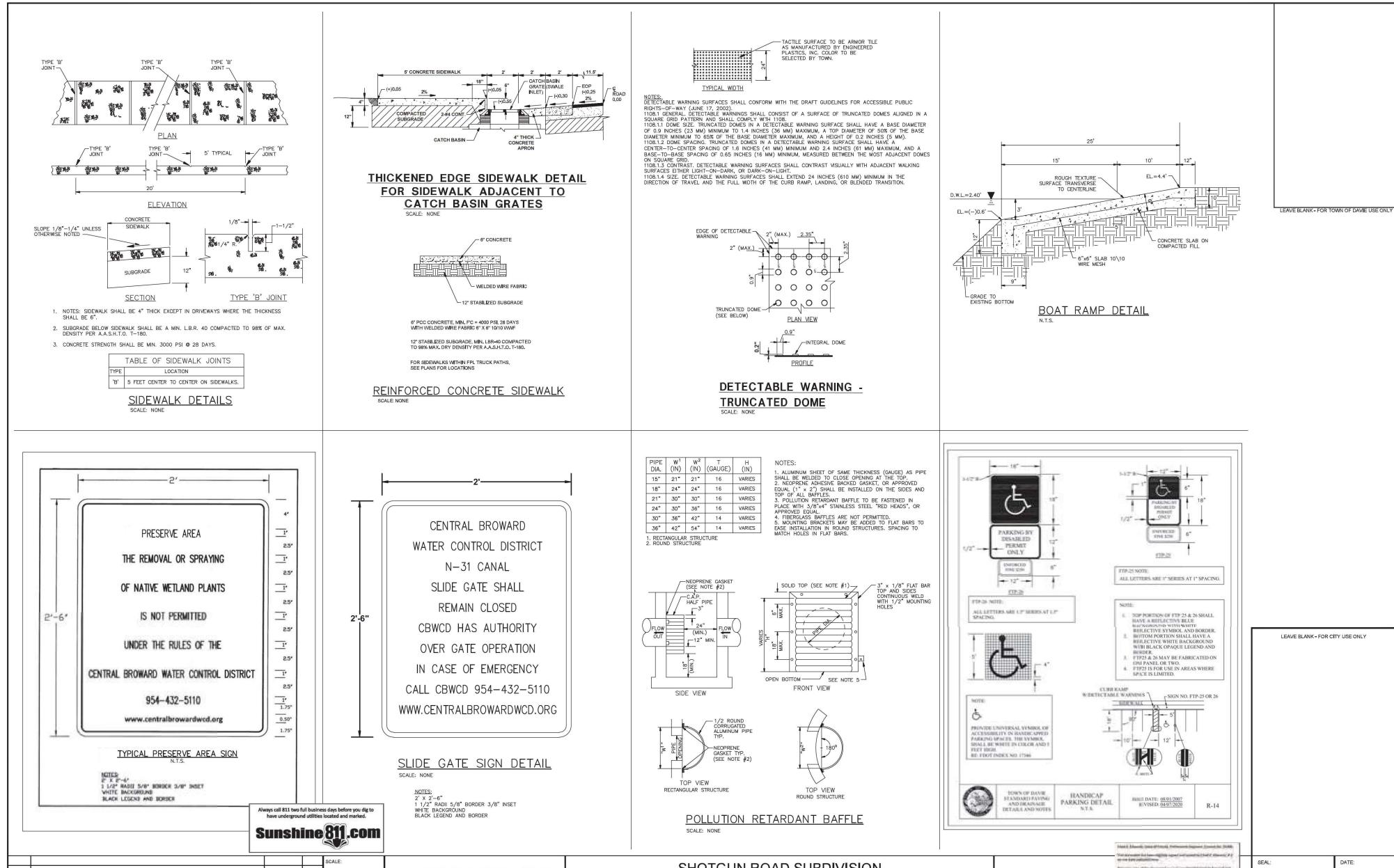
SHOTGUN ROAD SUBDIVISION
S.W. 154TH AVENUE
TOWN OF DAVIE, FLORIDA
PREPARED FOR
KBNP, LLC

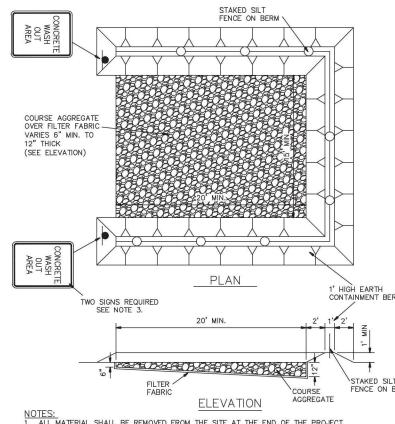
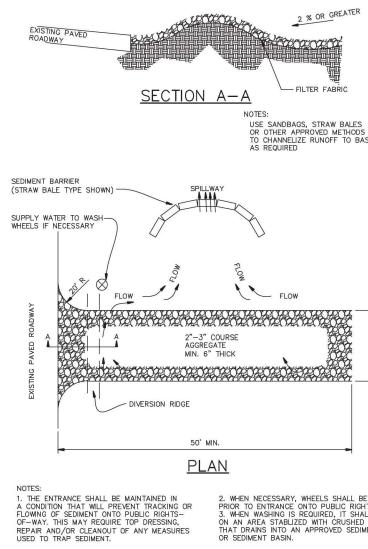
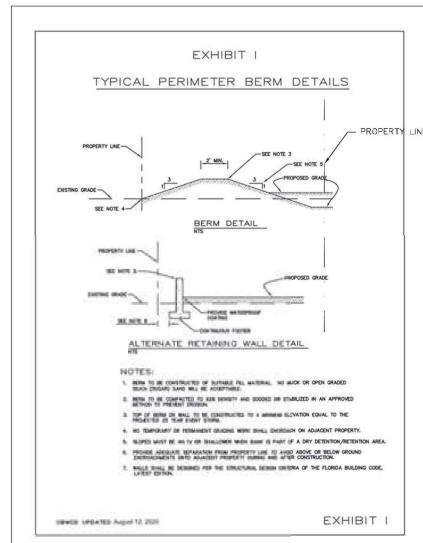
REVISIONS: DATE: BY: CHECKED BY: GEE

SEAL: DATE: 12/19/2023
Cloud Everett Edwards
Fender P.E. No. 032036
September 16, 2025

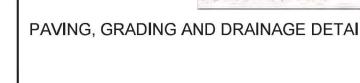
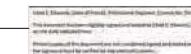
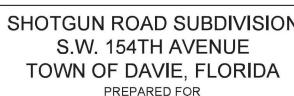
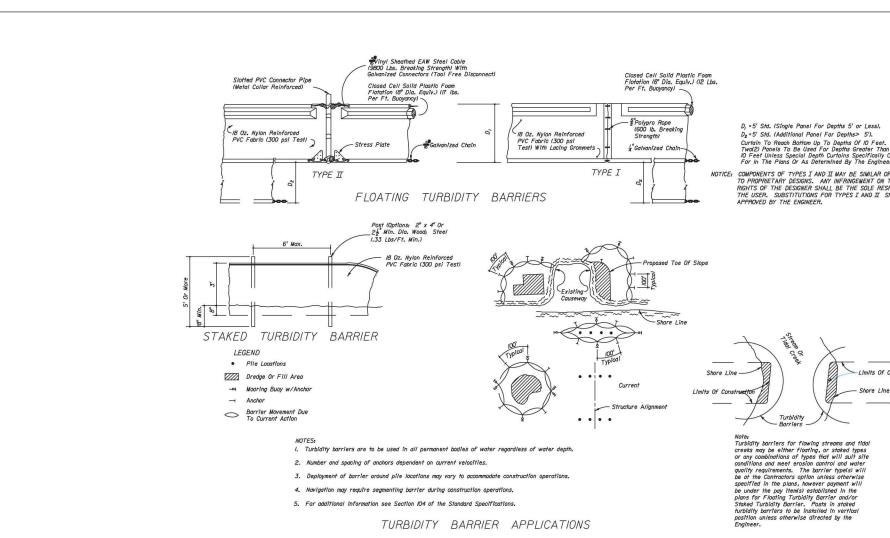
DRAWING NO.: C-58
PROJECT NO.: 22-0049-001-01
Sheet 58 of 93

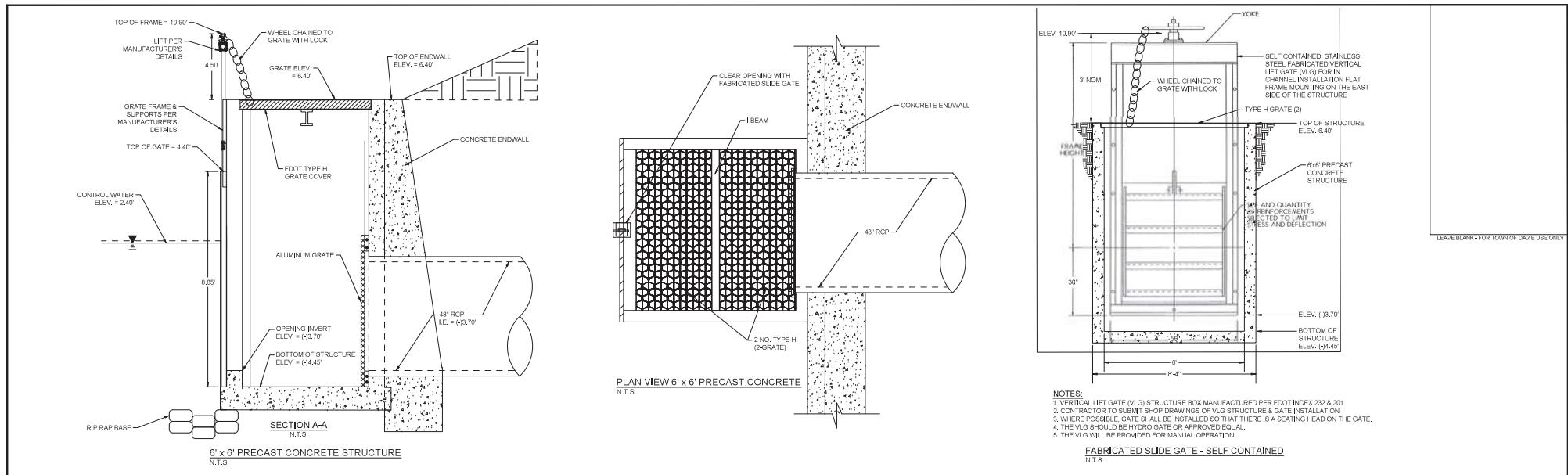






				SCALE:
				DESIGNED BY: M
				DRAWN BY: M
				CHECKED BY: C
Rev.	REVISION #	DATE	BY	





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DESIGNED BY:	MRN
DRAWN BY:	MRN
CHECKED BY:	CEE
REVISED BY:	
DATE:	
BY:	

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(305) 467-1400 • (305) 467-1401 • FAX (305) 467-1400
FLORIDA LICENSED ENGINEERS, SURVEYORS & LANDSCAPE BUSINESS NO. 271

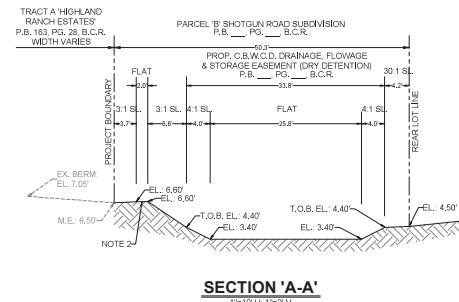
SHOTGUN ROAD SUBDIVISION
S.W. 154TH AVENUE
TOWN OF DAVIE, FLORIDA
PREPARED FOR
KBNP, LLC

PAVING, GRADING AND DRAINAGE DETAILS

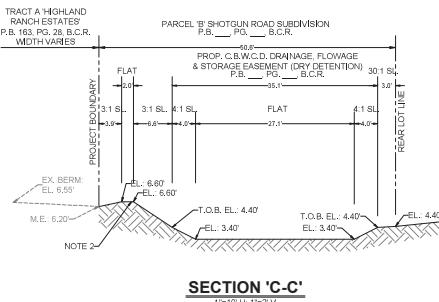
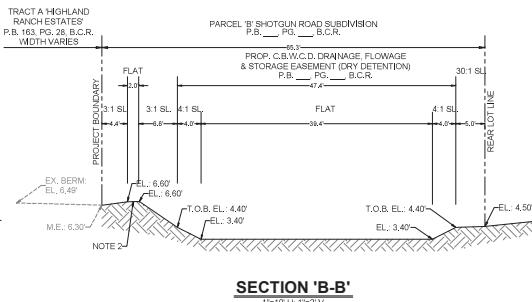
SEAL:	DATE: 12/19/2023
Chad Everett Edwards, Florida P.E. No. 59306 September 2, 2025	
PROJECT NO: 22-0049-001-01	DRAWING NO. C-62 Sheet 62 of 93

CROSS SECTION NOTES

1. ALL ELEVATIONS ARE NAVD88.
2. MINIMUM PERMITTER BERM TO BE PROVIDED AT THIS LOCATION IN ACCORDANCE WITH SPECIFICATIONS IN C,B,W,C,D, CRITERIA EXHIBIT PER 100' ABOVE THE 25 YEARS DAY STORM STAGE PER C,B,W,C,D, CRITERIA 2.02.02.
3. CONTROL WATER ELEVATION PER C,B,W,C,D, CRITERIA 2.01.1.
4. 20' MIN. LITTORAL PLANTING ZONE. SEE LANDSCAPE PLANS FOR DETAILS. ALSO SEE MITIGATION CROSS SECTIONS BY JAH GOLDASCH FOR ADDITIONAL INFORMATION.

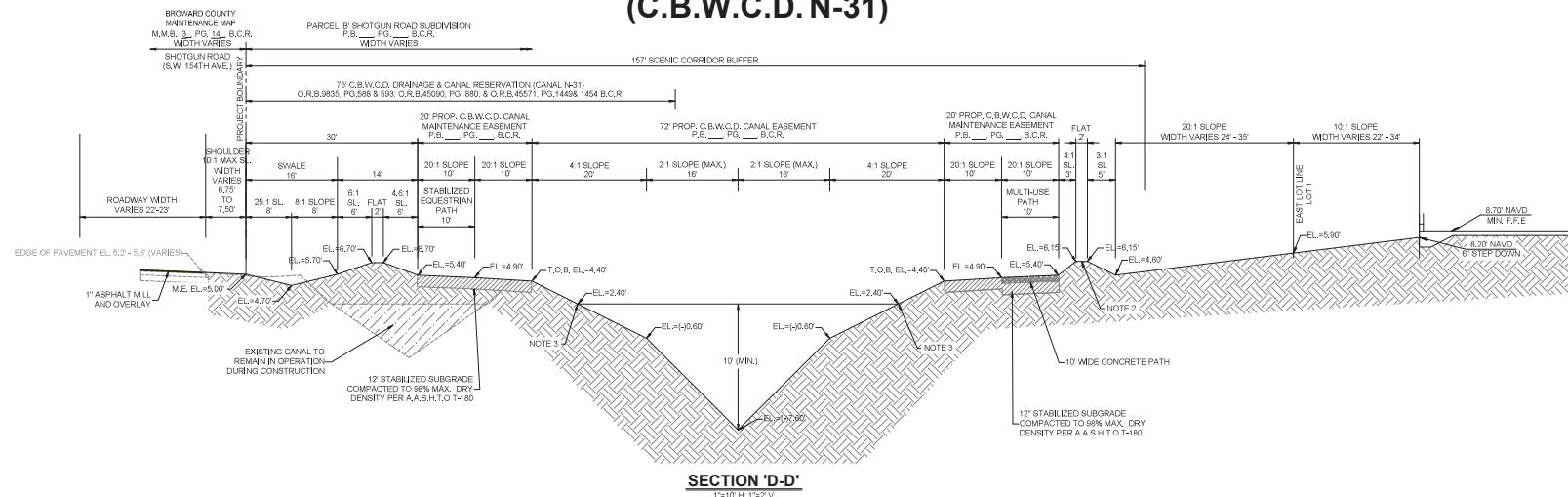


NORTH RETENTION



LEAVE BLANK - FOR TOWN OF DAME USE D

SHOTGUN ROAD CANAL (C.B.W.C.D. N-31)



LEAVE BLANK - FOR CITY USE ONLY



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S.W. 154TH AVENUE
TOWN OF DAVIE, FLORIDA

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[0.00' NGVD29 = (-11.60' NAVD88)]

TYPICAL SECTION

			SCALE:
			DESIGNED BY: MRE
			DRAWN BY: MRE
			CHECKED BY: CEL
No.	REVISIONS	DATE	BY

			SCALE:	
			DESIGNED BY:	MRN
			DRAWN BY:	MRN
			CHECKED BY:	CEE
No.	REASONS	DATE	BY	CEE

3061 S. 30TH STREET, FORT LAUDERDALE, FLORIDA 33316
 FAX: (305) 734-1212
 FLORIDA LICENSED ENGINEERING, SURVEYING & MAPING BUSINESS NO. C001
 FLORIDA LICENSED LANDSCAPE ARCHITECTURE & DESIGNER NO. C007
 SPECIALTY DESIGN & CONSTRUCTION OF SWIMMING POOLS, KIDS POOLS, SPAS, HOT TUBS,
 LANDSCAPE DESIGN & CONSTRUCTION

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SEAL: DATE:
12/19/202

Chad Everett Edwards
Florida P.E. No. 59306
561-555-5555

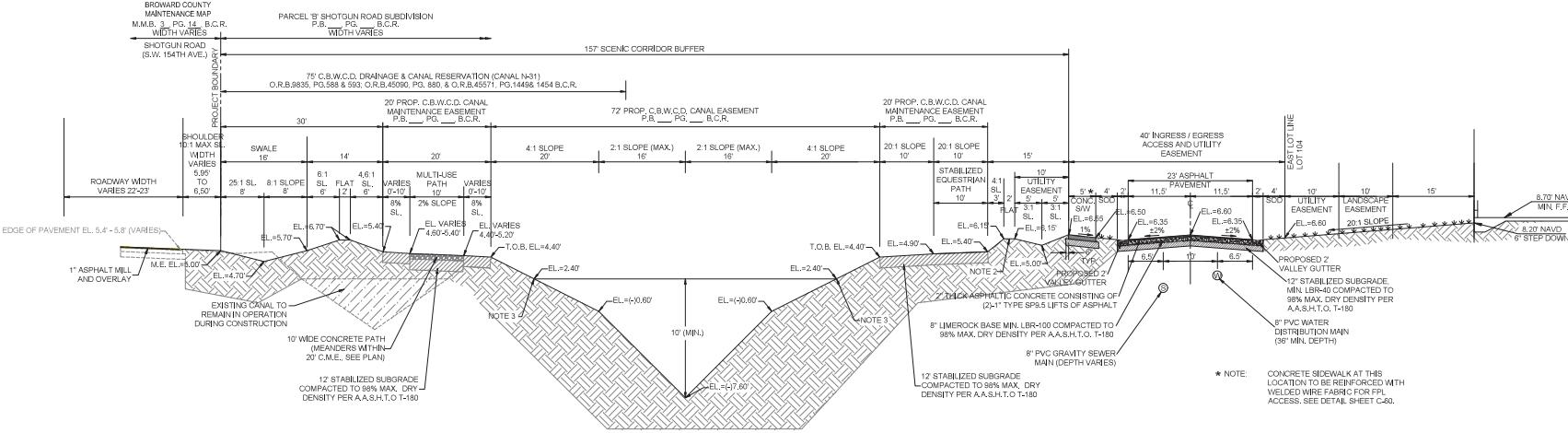
September 2, 2025

22-0049-001-01 Street 84 of

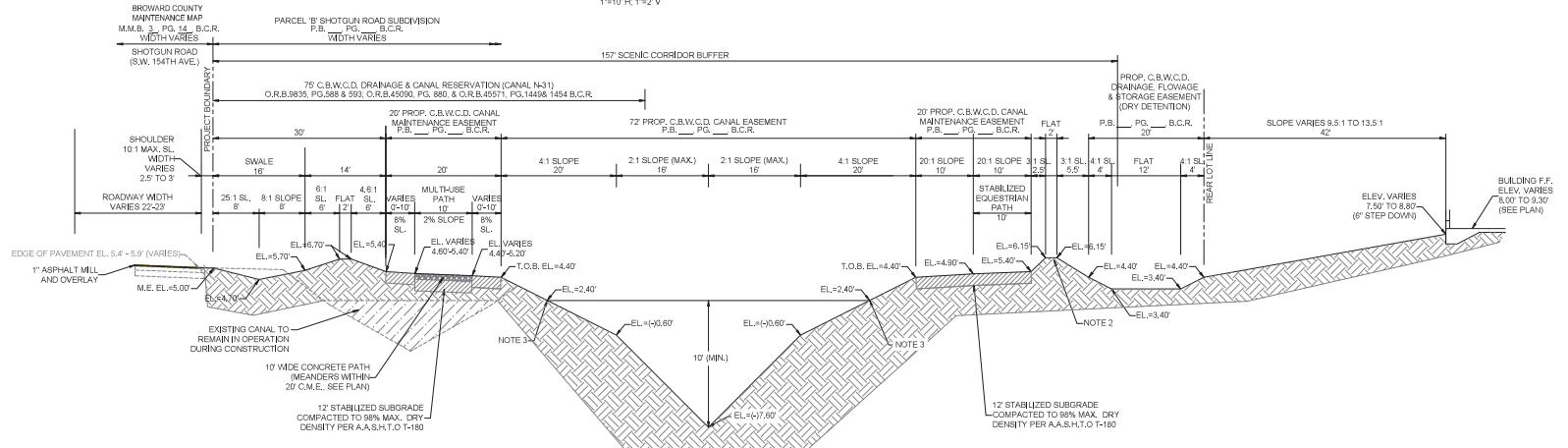
SHOTGUN ROAD CANAL (C.B.W.C.D. N-31)

CROSS SECTION NOTES

1. ALL ELEVATIONS ARE NAVD88.
2. MINIMUM PERIMETER FENCE TO BE PROVIDED AT THIS LOCATION IN ACCORDANCE WITH SPECIFICATIONS IN C.B.W.C.D. CRITERIA EXHIBIT 1 SET AT OR ABOVE THE 25 YEARS DAY STORM STAGE PER C.B.W.C.D. CRITERIA 2.06.02.
3. CONTROL WATER ELEVATION PER C.B.W.C.D. CRITERIA 2.01.1.
4. 20' MIN LITTORAL PLANTING ZONE. SEE LANDSCAPE PLANS FOR DETAILS. ALSO SEE MITIGATION CROSS SECTIONS BY J.J. GOLDASICH FOR ADDITIONAL INFORMATION.



SECTION 'E-E'



SECTION 'F-F'

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				SCALE:
				DESIGNED BY: MI
				DRAWN BY: MI
				CHECKED BY: MI
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THE HAGUE

TYPICAL SECTIONS

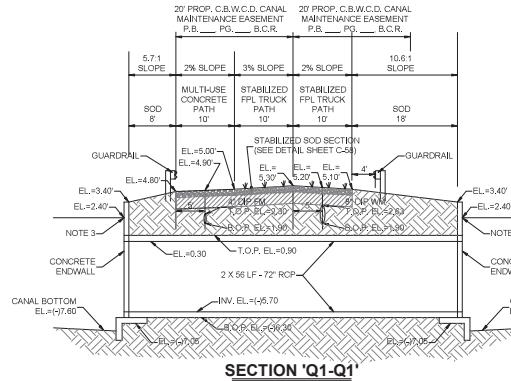
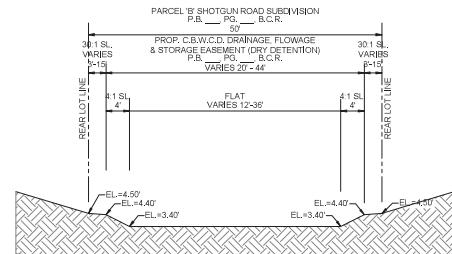
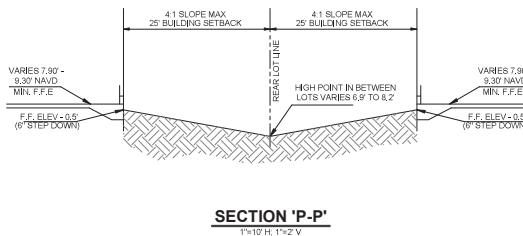
SEAL:	DATE: 12/19/2023
Chad Everett Edwards Florida P.E. No. 59306 September 16, 2025	
PROJECT NO. 22-0049-001-01	DRAWING NO. C-65
Sheet 65 of 93	

CROSS SECTION NOTES

1. ALL ELEVATIONS ARE NAVD88.
2. MINIMUM PERIMETER BERM TO BE PROVIDED AT THIS LOCATION IN ACCORDANCE WITH SPECIFICATIONS IN C.B.W.C.D. CRITERIA EXHIBIT 1 SET AT OR ABOVE THE 25 YEARS DAY STORM STAGE PER C.B.W.C.D. CRITERIA 2.05.02.
3. CONTROL WATER ELEVATION PER C.B.W.C.D. CRITERIA 2.01.1.
4. 20' MIN ULTRAM PLANTING ZONE. SEE LANDSCAPE PLANS FOR DETAILS. ALSO SEE MITIGATION CROSS SECTIONS BY J.J. GOLDAISCH FOR ADDITIONAL INFORMATION.

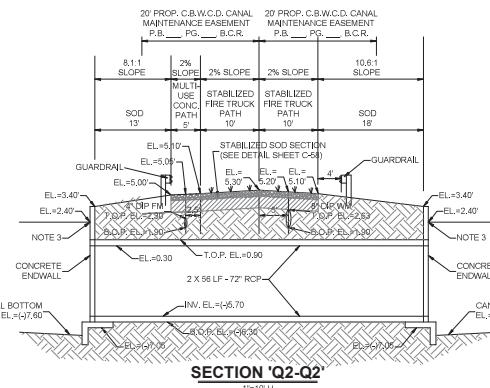
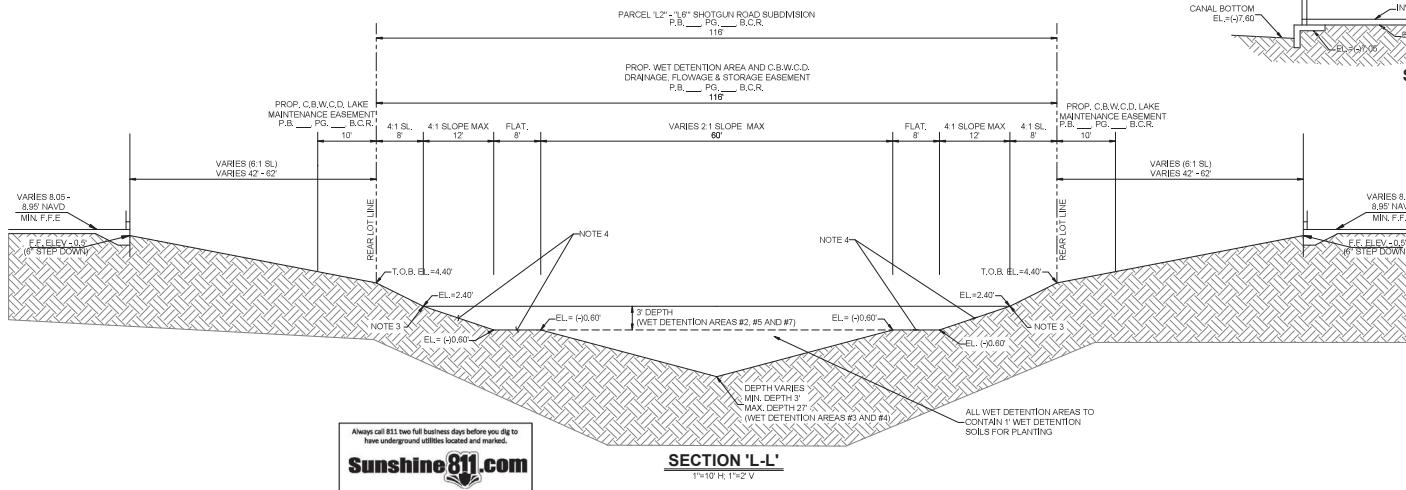
50' RETENTION BETWEEN LOTS

SECTION BETWEEN LOTS



LEAVE BLANK - FOR TOWN OF DAME USE ONLY

WET DETENTION AREAS BETWEEN LOTS



LEAVE BLANK - FOR CITY USE ONLY

			SCALE:
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No.	REVISIONS		DATE
			BY

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S.W. 154TH AVENUE
TOWN OF DAVIE, FLORIDA
PREPARED FOR

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[0.00' NGVD29 = (-)1.60' NAVD88]

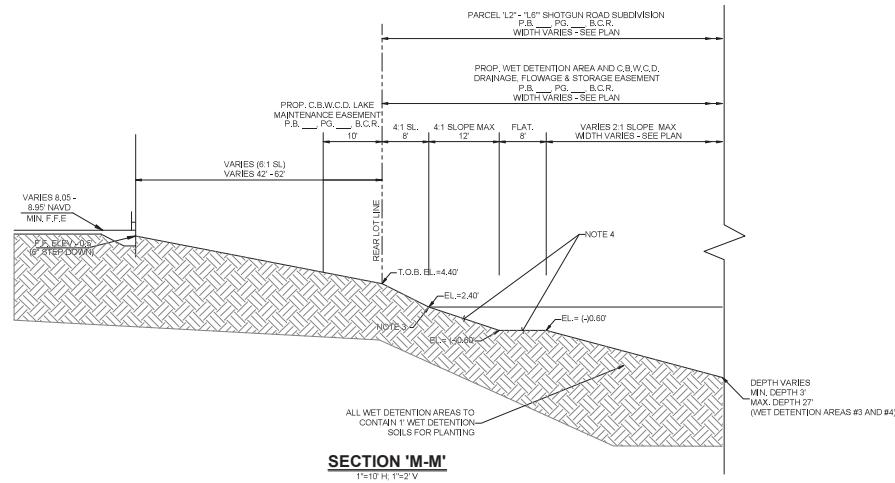
TYPICAL SECTION

SEAL:	DATE: 12/19/2023
Chad Everett Edwards Florida P.E. No. 59306 September 18, 2025	
DRAWING NO. C-68	
PROJECT NO. 22-0049-001-01	
Sheet <u>68</u> of 93	

CROSS SECTION NOTES

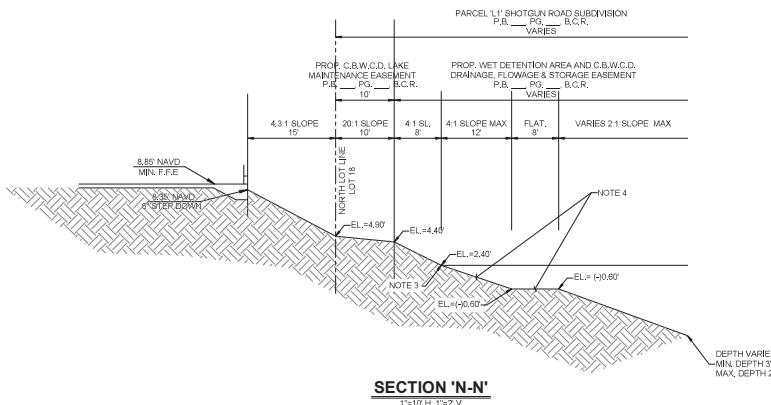
1. ALL ELEVATIONS ARE NAVD88.
2. MINIMUM PERIMETER BERM TO BE PROVIDED AT THIS LOCATION IN ACCORDANCE WITH SPECIFICATIONS IN C.B.W.C.D. CRITERIA EXHIBIT 1 AT OR ABOVE THE 25 YEARS DAY STORM STAGE PER C.B.W.C.D. CRITERIA 2.06.02.
3. CONTROL WATER ELEVATION PER C.B.W.C.D. CRITERIA 2.01.1.
4. 200' MIN. UTRIAZ PLANTING ZONE SEE LANDSCAPE PLANS FOR DETAILS. ALSO SEE MITIGATION CROSS SECTIONS BY J.J. GOLDAISCH FOR ADDITIONAL INFORMATION.

WET DETENTION AREAS



LEAVE BLANK - FOR TOWN OF DAME USE ON

NORTHWEST WET DETENTION AREA



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				CHECKED BY: CEM
No.	REVISIONS		DATE	BY

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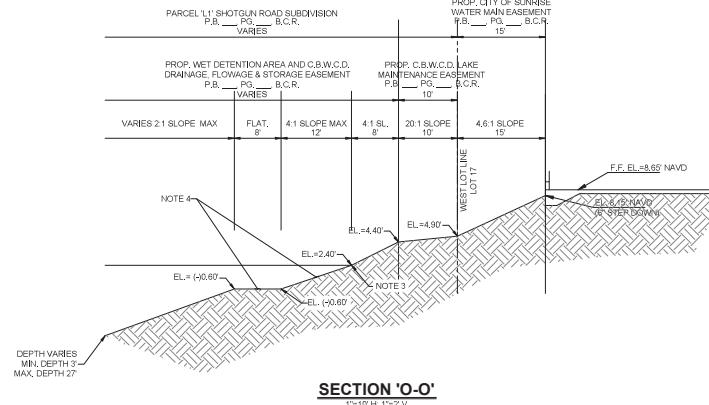
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NORTHWEST WET DETENTION AREA



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Symposium of the
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Chad Everett Edwards Florida P.E. No. 59306 September 2, 2025	
PROJECT NO. 22-0049-001-01	DRAWING NO. C-69
Sheet 69 of 93	

NOTES:

1. Use the Type A, Anchored, variation or the Type B, bolted, variation as specified.
2. Use weathering steel for all structural steel and fasteners.
3. Place a horizontal section (See Standard A-27-4) and bending moment diagram (See Standard A-27-5) of the entire post.

STEEL RAIL
PLATE WASHER

STEEL SPLICE PLATE

CONCRETE ANCHOR FOR SHORT GUARDRAIL POST

STEEL-BACKED TIMBER GUARDRAIL TYPE A & TYPE B

NO SCALE

017-63

NOTES:

1. Use Type A, Anchored, variation or the Type B, bolted, variation as specified.
2. Use the weathering steel for all structural steel and fasteners.
3. Pursue shop bent splice plates. Use the bending moment diagram (See Standard A-27-5) below.
4. See Sheet 2 of 2 for Plan View Layout.

STEEL RAIL
PLATE WASHER

PLAN
ELEVATION
SECTION A-A

BENT SPLICE PLATE

BEND AND CUT TABLE

Radius R	Angle in degrees	d
10	5.71	1
15	8.57	1
20	11.54	1
25	14.51	1
30	17.50	1
40	23.58	1
50	26.57	1
60	28.56	1
70	29.97	1
80	30.99	1
90	31.43	1
100	31.79	1

BOLT LENGTH TABLE

Type A (inch) (mm)	Type B (inch) (mm)
18"	18"
21"	21"

**U.S. DEPARTMENT OF TRANSPORTATION
FEDERAL HIGHWAY ADMINISTRATION
U.S. CUSTOMARY STANDARD
STEEL-BACKED TIMBER GUARDRAIL
AROUND CIRCULAR CURVES
70 FOOT RADIUS AND BELOW**

NO SCALE

017-63

NOTE:

1. It is the central angle which subtends a 2'-0" chord.
2. It is measured from the center of the circle to the back surface of the rough sawn timber rail.

PC (Point of Curve)
PP (Point of Periphery)

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FEDERAL HIGHWAY ADMINISTRATION
U.S. CUSTOMARY STANDARD
STEEL-BACKED TIMBER GUARDRAIL
AROUND CIRCULAR CURVES
70 FOOT RADIUS AND BELOW**

NO SCALE

017-63

**SHOTGUN ROAD SUBDIVISION
S.W. 154TH AVENUE
TOWN OF DAVIE, FLORIDA**

PREPARED FOR
KBNP, LLC

TIMBER GUARDRAIL DETAILS

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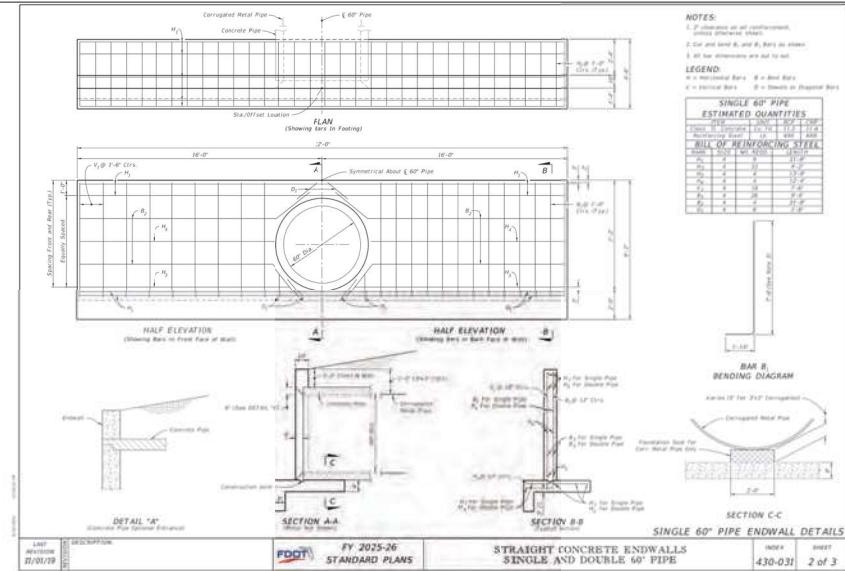
SEAL: DATE: 12/19/2023

Chat Everett Edwards
Florida P.E. No. 59308
September 2, 2025

DRAWING NO. C-84

PROJECT NO. 22-0049-001-01

Sheet 82 of 93



NOTES:
1. E 60 pipe is not cross-coupled.
2. E 60 pipe is not cross-coupled.
3. E 60 pipe is not cross-coupled.
4. E 60 pipe is not cross-coupled.

LEGEND:
B = Horizontal Bars
B = Dovetail Bars
B = Sheets or Diagonal Bars

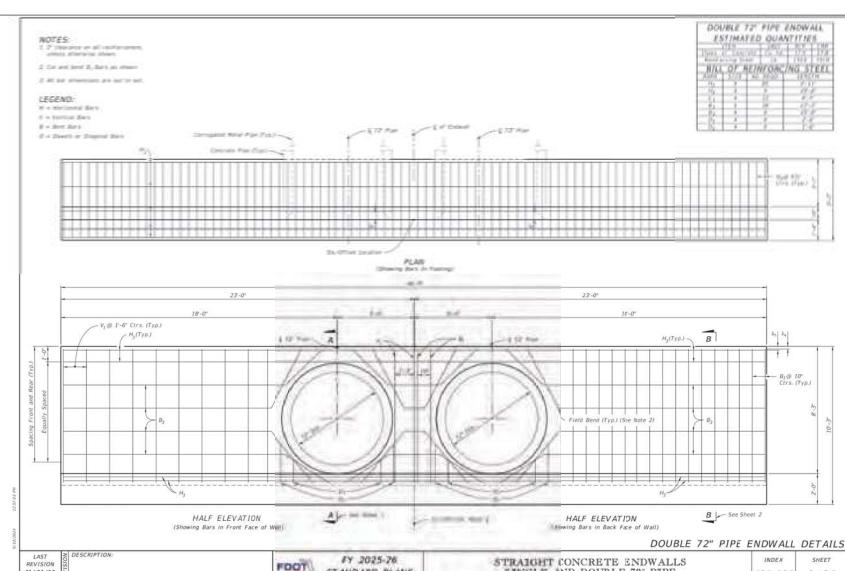
SINGLE 60" PIPE ESTIMATED QUANTITIES

ITEM	QUANTITY	UNIT
1. E 60 pipe	1	LINEAR FEET
2. Reinforcing Steel	1	TONS
3. Horizontal Bars	1	TONS
4. Dovetail Bars	1	TONS
5. Sheets or Diagonal Bars	1	TONS

BILL OF REINFORCING STEEL

ITEM	QUANTITY	UNIT
1. E 60 pipe	1	TONS
2. Horizontal Bars	1	TONS
3. Dovetail Bars	1	TONS
4. Sheets or Diagonal Bars	1	TONS

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NOTES:
1. E 60 pipe is not cross-coupled.
2. E 60 pipe is not cross-coupled.
3. E 60 pipe is not cross-coupled.

LEGEND:
B = Horizontal Bars
B = Dovetail Bars
B = Sheets or Diagonal Bars

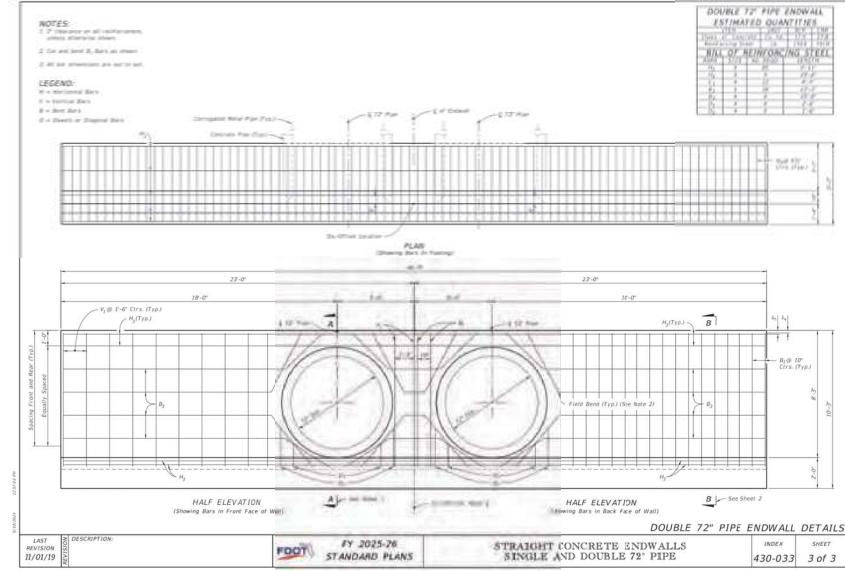
SINGLE 60" PIPE ENDWALL DETAILS

ITEM	QUANTITY	UNIT
1. E 60 pipe	1	LINEAR FEET
2. Reinforcing Steel	1	TONS
3. Horizontal Bars	1	TONS
4. Dovetail Bars	1	TONS
5. Sheets or Diagonal Bars	1	TONS

BILL OF REINFORCING STEEL

ITEM	QUANTITY	UNIT
1. E 60 pipe	1	TONS
2. Horizontal Bars	1	TONS
3. Dovetail Bars	1	TONS
4. Sheets or Diagonal Bars	1	TONS

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NOTES:
1. Dimensions are in inches.
2. Keyways and Dovetails are required for separate construction joint.
3. E 72 pipe is not cross-coupled.
4. E 72 pipe is not cross-coupled.
5. E 72 pipe is not cross-coupled.

LEGEND:
B = Horizontal Bars
B = Dovetail Bars
B = Sheets or Diagonal Bars

DOUBLE 72" PIPE ENDWALL ESTIMATED QUANTITIES

ITEM	QUANTITY	UNIT
1. E 72 pipe	2	LINEAR FEET
2. Reinforcing Steel	2	TONS
3. Horizontal Bars	2	TONS
4. Dovetail Bars	2	TONS
5. Sheets or Diagonal Bars	2	TONS

BILL OF REINFORCING STEEL

ITEM	QUANTITY	UNIT
1. E 72 pipe	2	TONS
2. Horizontal Bars	2	TONS
3. Dovetail Bars	2	TONS
4. Sheets or Diagonal Bars	2	TONS

LEAVE BLANK - FOR CITY USE ONLY



NOTES:
1. Dimensions are in inches.
2. Keyways and Dovetails are required for separate construction joint.
3. E 72 pipe is not cross-coupled.
4. E 72 pipe is not cross-coupled.
5. E 72 pipe is not cross-coupled.

LEGEND:
B = Horizontal Bars
B = Dovetail Bars
B = Sheets or Diagonal Bars

DOUBLE 72" PIPE ENDWALL DETAILS

ITEM	QUANTITY	UNIT
1. E 72 pipe	2	LINEAR FEET
2. Reinforcing Steel	2	TONS
3. Horizontal Bars	2	TONS
4. Dovetail Bars	2	TONS
5. Sheets or Diagonal Bars	2	TONS

BILL OF REINFORCING STEEL

ITEM	QUANTITY	UNIT
1. E 72 pipe	2	TONS
2. Horizontal Bars	2	TONS
3. Dovetail Bars	2	TONS
4. Sheets or Diagonal Bars	2	TONS

LEAVE BLANK - FOR CITY USE ONLY

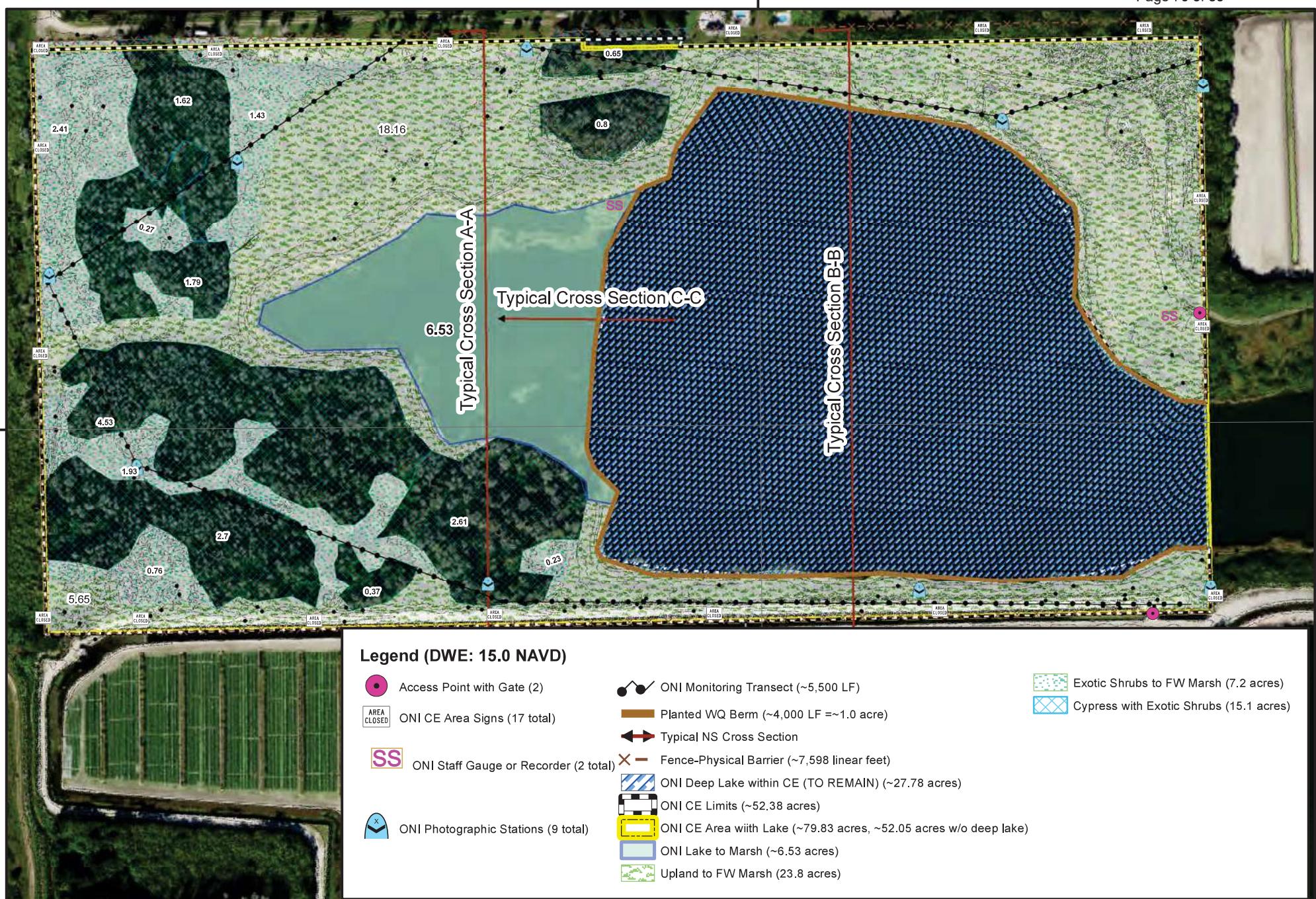
CONCRETE AND METAL PIPE TABLES

NOTES:
1. Dimensions are in inches.
2. Keyways and Dovetails are required for separate construction joint.
3. E 72 pipe is not cross-coupled.
4. E 72 pipe is not cross-coupled.
5. E 72 pipe is not cross-coupled.

LEGEND:
B = Horizontal Bars
B = Dovetail Bars
B = Sheets or Diagonal Bars

ROUND CONCRETE AND CORRUGATED METAL PIPE

Opening Area (in²)	Dimensions	Number of E 72 Pipe (Type 1)	Number of E 72 Pipe (Type 2)	Length	Width	Height	Reinforcement
10.00	10" x 10"	1	0	10'	10"	10"	10# E 72
12.00	12" x 12"	1	0	12'	12"	12"	12# E 72
15.00	15" x 15"	1	0	15'	15"	15"	15# E 72
20.00	20" x 20"	1	0	20'	20"	20"	20# E 72
25.00	25" x 25"	1	0	25'	25"	25"	25# E 72
30.00	30" x 30"	1	0	30'	30"	30"	30# E 72
36.00	36" x 36"	1	0	36'	36"	36"	36# E 72
43.00	43" x 43"	1	0	43'	43"	43"	43# E 72
50.00	50" x 50"	1	0	50'	50"	50"	50# E 72
60.00	60" x 60"	1	0	60'	60"	60"	60# E 72
72.00	72" x 72"	1	0	72'	72"	72"	72# E 72
84.00	84" x 84"	1	0	84'	84"	84"	84# E 72
100.00	100" x 100"	1	0	100'	100"	100"	100# E 72
120.00	120" x 120"	1	0	120'	120"	120"	120# E 72
144.00	144" x 144"	1	0	144'	144"	144"	144# E 72
172.00	172" x 172"	1	0	172'	172"	172"	172# E 72
204.00	204" x 204"	1	0	204'	204"	204"	204# E 72
240.00	240" x 240"	1	0	240'	240"	240"	240# E 72
280.00	280" x 280"	1	0	280'	280"	280"	280# E 72
324.00	324" x 324"	1	0	324'	324"	324"	324# E 72
372.00	372" x 372"	1	0	372'	372"	372"	372# E 72
424.00	424" x 424"	1	0	424'	424"	424"	424# E 72
480.00	480" x 480"	1	0	480'	480"	480"	480# E 72
540.00	540" x 540"	1	0	540'	540"	540"	540# E 72
600.00	600" x 600"	1	0	600'	600"	600"	600# E 72
660.00	660" x 660"	1	0	660'	660"	660"	660# E 72
720.00	720" x 720"	1	0	720'	720"	720"	720# E 72
780.00	780" x 780"	1	0	780'	780"	780"	780# E 72
840.00	840" x 840"	1	0	840'	840"	840"	840# E 72
900.00	900" x 900"	1	0	900'	900"	900"	900# E 72
960.00	960" x 960"	1	0	960'	960"	960"	960# E 72
1020.00	1020" x 1020"	1	0	1020'	1020"	1020"	1020# E 72
1080.00	1080" x 1080"	1	0	1080'	1080"	1080"	1080# E 72
1140.00	1140" x 1140"	1	0	1140'	1140"	1140"	1140# E 72
1200.00	1200" x 1200"	1	0	1200'	1200"	1200"	1200# E 72
1260.00	1260" x 1260"	1	0	1260'	1260"	1260"	1260# E 72
1320.00	1320" x 1320"	1	0	1320'	1320"	1320"	1320# E 72
1380.00	1380" x 1380"	1	0	1380'	1380"	1380"	1380# E 72
1440.00	1440" x 1440"	1	0	1440'	1440"	1440"	1440# E 72
1500.00	1500" x 1500"	1	0	1500'	1500"	1500"	1500# E 72
1560.00	1560" x 1560"	1	0	1560'	1560"	1560"	1560# E 72
1620.00	1620" x 1620"	1	0	1620'	1620"	1620"	1620# E 72
1680.00	1680" x 1680"	1	0	1680'	1680"	1680"	1680# E 72
1740.00	1740" x 1740"	1	0	1740'	1740"	1740"	1740# E 72
1800.00	1800" x 1800"	1	0	1800'	1800"	1800"	1800# E 72
1860.00	1860" x 1860"	1	0	1860'	1860"	1860"	1860# E 72
1920.00	1920" x 1920"	1	0	1920'	1920"	1920"	1920# E 72
1980.00	1980" x 1980"	1	0	1980'	1980"	1980"	1980# E 72
2040.00	2040" x 2040"	1	0	2040'	2040"	2040"	2040# E 72
2100.00	2100" x 2100"	1	0	2100'	2100"	2100"	2100# E 72
2160.00	2160" x 2160"	1	0	2160'	2160"	2160"	2160# E 72
2220.00	2220" x 2220"	1	0	2220'	2220"	2220"	2220# E 72
2280.00	2280" x 2280"	1	0	2280'	2280"	2280"	2280# E 72
2340.00	2340" x 2340"	1	0	2340'	2340"	2340"	2340# E 72
2400.00	2400" x 2400"	1	0	2400'	2400"	2400"	2400# E 72
2460.00	2460" x 2460"	1	0	2460'	2460"	2460"	2460# E 72
2520.00	2520" x 2520"	1	0	2520'	2520"	2520"	2520# E 72
2580.00	2580" x 2580"	1	0	2580'	2580"	2580"	2580# E 72
2640.00	2640" x 2640"	1	0	2640'	2640"	2640"	2640# E 72
2700.00	2700" x 2700"	1	0	2700'	2700"	2700"	2700# E 72
2760.00	2760" x 2760"	1	0	2760'	2760"	2760"	2760# E 72
2820.00	2820" x 2820"	1	0	2820'	2820"	2820"	2820# E 72
2880.00	2880" x 2880"	1	0	2880'	2880"	2880"	2880# E 72
2940.00	2940" x 2940"	1	0	2940'	2940"	2940"	2940# E 72
3000.00	3000" x 3000"	1	0	3000'	3000"	3000"	3000# E 72
3060.00	3060" x 3060"	1	0	3060'	3060"	3060"	3060# E 72
3120.00	3120" x 3120"	1	0	3120'	3120"	3120"	3120# E 72
3180.00	3180" x 3180"	1	0	3180'	3180"	3180"	3180# E 72
3240.00	3240" x 3240"	1	0	3240'	3240"	3240"	3240# E 72
3300.00	3300" x 3300"	1	0	3300'	3300"	3300"	3300# E 72
3360.00	3360" x 3360"	1	0	3360'	3360"	3360"	3360# E 72
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4440.00	4440" x 4440"	1	0	4440'	4440"	4440"	4440# E 72
4500.00	4500" x 4500"	1	0	4500'	4500"	4500"	4500# E 72
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4740.00	4740" x 4740"	1	0	4740'	4740"	4740"	4740# E 72
4800.00	4800" x 4800"	1	0	4800'	4800"	4800"	4800# E 72
4860.00	4860" x 4860"	1	0	4860'	4860"	4860"	4860# E 72
4920.00	4920" x 4920"	1	0	4920'	4920"	4920"	4920# E 72
4980.00	4980" x 4980"	1	0	4980'	4980"	4980"	4980# E 72



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110 55 0 110 220 330 440 550

J. J. Goldasich and Associates, Incorporated

ONI Walker Preserve

Add WQ Berm

ONI
Walker
Mitigation
Aerial
Photograph

**Ecological Services
Natural System Analysis
DESIGN/PERMIT-BUILD-MAINTAIN**



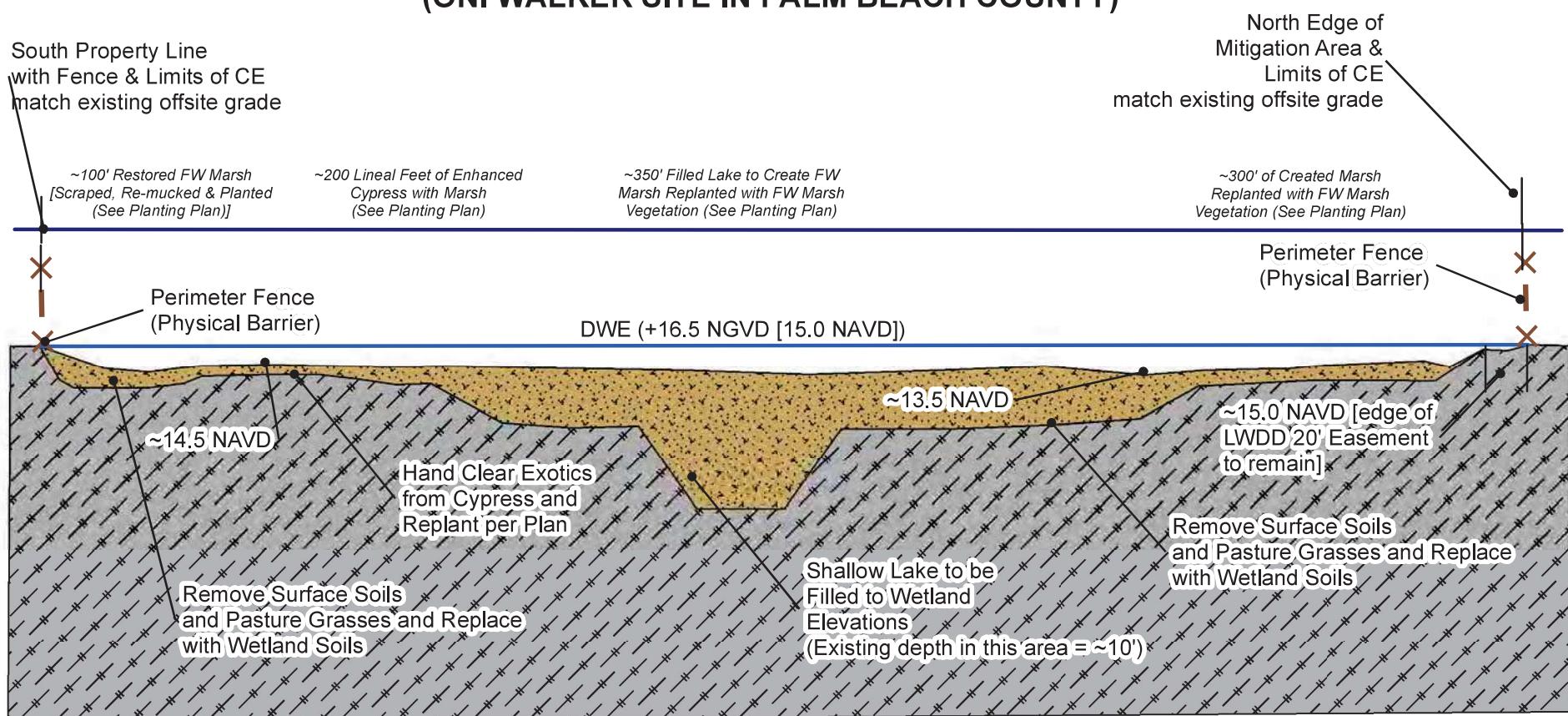
(561) 883-9555
jjg@jjgoldasich.com
Seagrass to Sawgrass

Wetland Mitigation Plan at ONI Location and Vicinity Aerial Photographs Palm Beach County, Florida

A horizontal number line with tick marks every 55 units, labeled from 110 to 550. A red arrow points to the label "Broward County" located below the line.



TYPICAL PERMITTEE RESPONSIBLE OFFSITE WETLAND MITIGATION AREA
CROSS SECTION A-A
(ONI WALKER SITE IN PALM BEACH COUNTY)



Legend

- +** Perimeter Fence
- ~** ONI Walker Mitigation Limits
- ~** ONI Walker DWE
- +** ONI Walker Base Soil
- +** ONI Walker Wetland Soil

Typical Offsite Wetland Mitigation Cross Section

All upland rangelands will be scraped to achieve wetland elevations. All onsite wetland mitigation areas will contain a minimum of 1 foot thick wetland soil substrate and be planted with native south Florida wetland vegetation. No upland buffers are proposed, a perimeter fence will preclude unauthorized entry into the site. No earthwork in areas that will damage existing good quality cypress forest. The Planting Plan will govern what vegetation is installed. FW Marsh Elevations will be between 15.5 NAVD and 12.5 NAVD.

The perimeter of the site will meet existing offsite grades.

VERTICAL ELEVATIONS ENLARGED TO SHOW DETAIL

Initial Date: 12/20/2024 Current Revision Date: 2/5/2025

J. J. Goldasich and Associates, Incorporated



(561) 883-9555
jjg@jjgoldasich.com
Seagrass to Sawgrass

CC Homes
Turnberry / ONI Walker PROMA
Typical Mitigation
Cross Section A-A
Palm Beach County, Florida

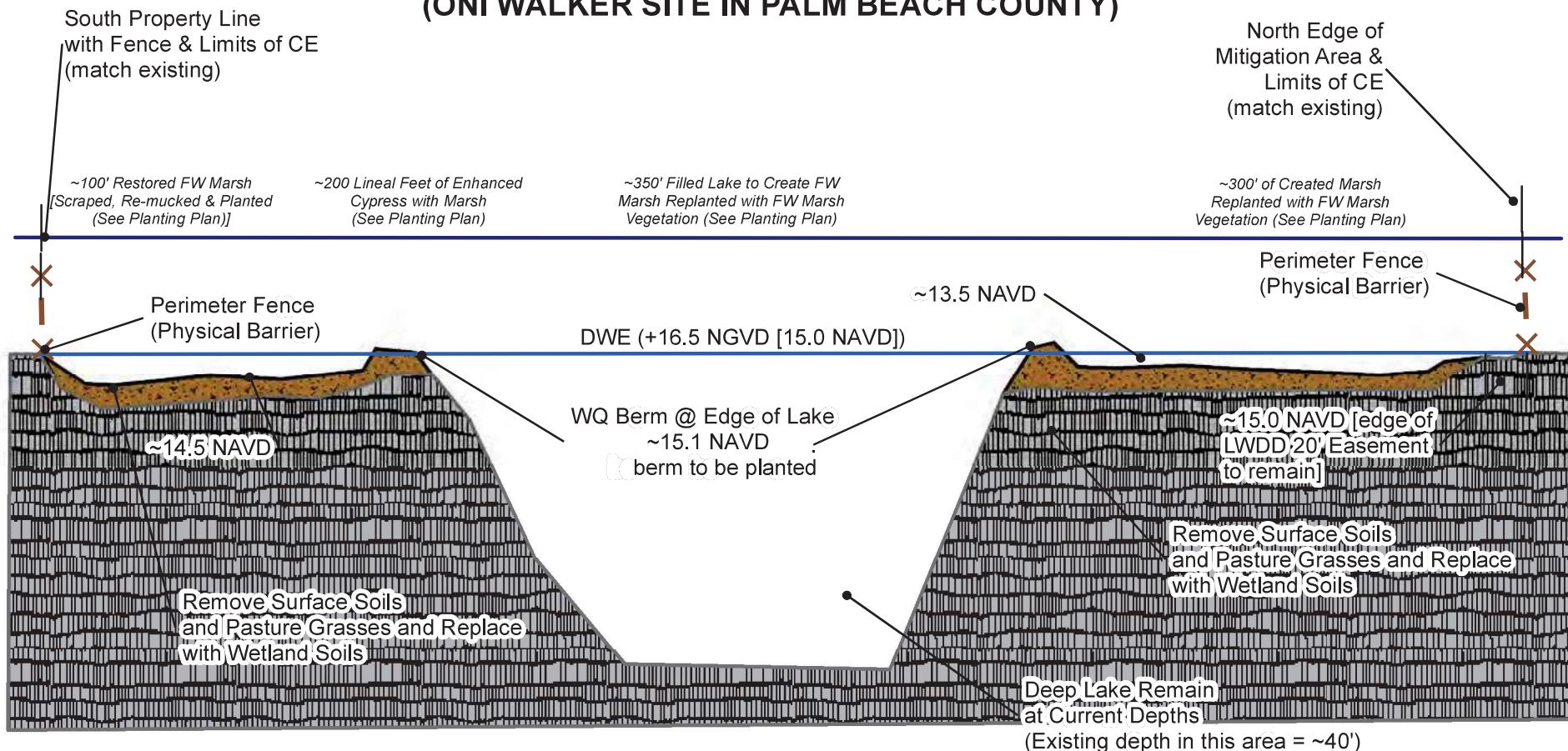
N.T.S.
Broward County
See Dimensions
Page 49 of 61

**Typical
Mitigation
Cross
Section A-A**

TYPICAL PERMITTEE RESPONSIBLE OFFSITE WETLAND MITIGATION AREA

CROSS SECTION B-B

(ONI WALKER SITE IN PALM BEACH COUNTY)


Legend

- Perimeter Fence
- ONI Walker Mitigation Limits
- ONI Walker DWE
- ONI Base Soil-Berm
- ONI Wetland Soils with Berm

Typical Offsite Wetland Mitigation Cross Section

All upland rangelands will be scraped to achieve wetland elevations. All onsite wetland mitigation areas will contain a minimum of 1 foot thick wetland soil substrate and be planted with native south Florida wetland vegetation. No upland buffers are proposed, a perimeter fence will preclude unauthorized entry into the site. No earthwork in areas that will damage existing good quality cypress forest. The Planting Plan will govern what vegetation is installed. FW Marsh Elevations will be between 15.5 NAVD and 12.5 NAVD. The perimeter of the site will meet existing offsite grades.

VERTICAL ELEVATIONS ENLARGED TO SHOW DETAIL



TYPICAL PERMITTEE RESPONSIBLE OFFSITE WETLAND MITIGATION AREA

CROSS SECTION C-C

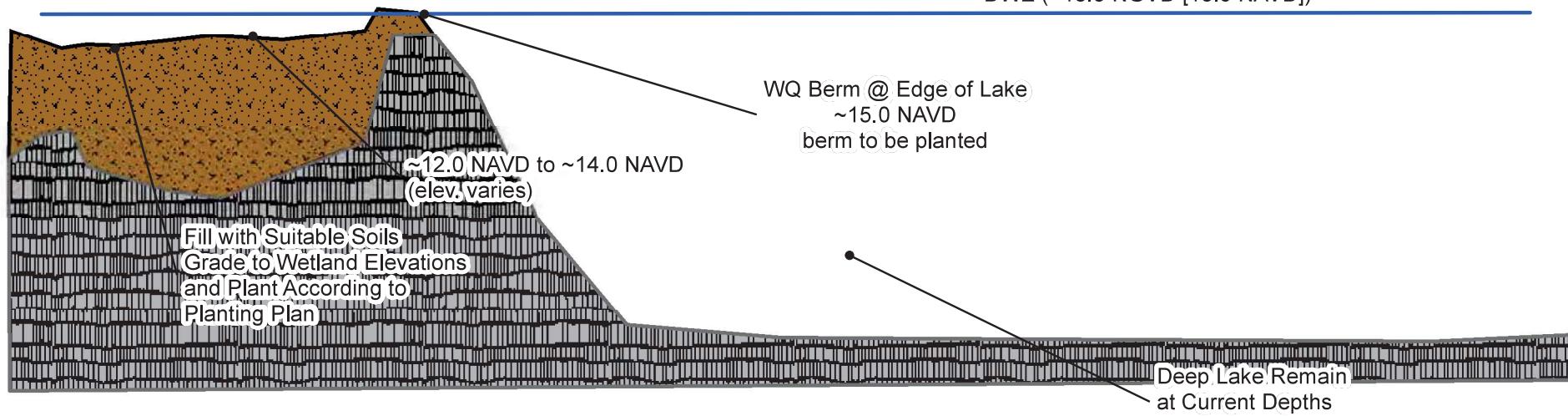
(ONI WALKER SITE IN PALM BEACH COUNTY)

Shallow Open Water
Filled to Wetland Elevations
Covered with Wetland Soil
and Planted According to the
Planting Plan

Lake to Remain

Deep Open Water to Remain

DWE (+16.5 NGVD [15.0 NAVD])



Legend

- Perimeter Fence
- ONI Walker Mitigation Limits
- ONI Walker DWE
- ONI Base Soil E-W
- ONI Base Soil-Berm
- ONI Wetland Soils with Berm

Typical Offsite Wetland Mitigation Cross Section

All upland rangelands will be scraped to achieve wetland elevations. All onsite wetland mitigation areas will contain a minimum of 1 foot thick wetland soil substrate and be planted with native south Florida wetland vegetation. No upland buffers are proposed, a perimeter fence will preclude unauthorized entry into the site. No earthwork in areas that will damage existing good quality cypress forest. The Planting Plan will govern what vegetation is installed. FW Marsh Elevations will be between 15.0 NAVD and 12.0 NAVD. The perimeter of the site will meet existing offsite grades.

VERTICAL ELEVATIONS ENLARGED TO SHOW DETAIL





IT'S THE LAW ! 
CALL TWO (2) BUSINESS DAYS
BEFORE YOU DIG
SUNSHINE 811

Randy Wertepny
P.E. 72504
Aug 14, 2025

PROJECT No.
24-1486
SHEET No.
C-01

**WALKER'S PRESERVE
MITIGATION AREA**

GB ANDING PIANS

HAVARZ & ASSOCIATES
Engineers • Land Surveyors
111 North Dixie Highway, Suite 201
West Palm Beach, Florida 33401
Tele: (561) 689-5660

K

GRADING PLANS

A circular seal for a Florida Professional Engineer. The outer ring contains the text "FLORIDA PROFESSIONAL ENGINEER" at the top and "P.E." at the bottom, separated by a horizontal line. The inner circle contains "RANDY SCOTT WERTEGNY" at the top, "LICENSE No. 72504" in the center, and "STATE OF FLORIDA" at the bottom. There are four five-pointed stars, one on each side of the center text.

This document has been digitally signed and sealed by Randy Wortsman on 10/10/2017 and is adjacent to the seal. All copies of this document are considered signed and sealed. The signature must be verified.

IT'S

SU

6 THE LAW

AW!

1

1

2

PROJECT No.
24-1486

SHEET No.
C-01

GENERAL NOTES AND SPECIFICATIONS

LAND CLEARING NOTES:

1. ALL CONSTRUCTION BARRICADES AND SILT FENCING SHALL REMAIN IN PLACE AND BE MONITORED FOR COMPLIANCE BY THE PERMIT HOLDER DURING THE PERMITTED DEVELOPMENT ACTIVITIES.

2. NIDGES MONITORING AND REPORTING CRITERIA SHALL BE COMPLIED WITH IN ACCORDANCE WITH PERMIT REQUIREMENTS.

3. ALL AREAS OF THE SITE DISTURBED DURING LAND CLEARING ACTIVITIES AND DURING CONSTRUCTION OF THE PROPOSED SITE FACILITIES SHALL BE STABILIZED AS NECESSARY WITH SOD, LANDSCAPING OR OTHER MATERIALS TO PREVENT EROSION AND TO PROTECT ADJOINING WETLANDS, PRESERVES AND SURFACE WATERS AS APPLICABLE.

4. SURVEYING MARKERS AND BARRICADE REQUIREMENTS:

ALL PRESERVE AREAS SHOWN ON THE SITE PLAN WILL BE SURVEYED AND MARKED WITH APPROPRIATE SURVEY MARKERS AND SIGNAGE DURING THE CLEARING AND CONSTRUCTION PHASES OF THE PROJECT. NO PLANT MATERIAL WILL BE REMOVED FROM THE PRESERVE AREAS TO ENSURE CONTINUOUS SURVEYING, FENCING OR SOIL BORING/SAMPLING WITHOUT PRIOR PERMISSION FROM THE TOWN OF JUPITER.

5. BARRICADE REQUIREMENTS - PRIOR TO CLEARING, THE DEVELOPER WILL ENSURE THAT ALL PRESERVE AREAS THAT ARE TO BE UNDISTURBED ARE PROTECTED WITH PHYSICAL BARRIERS DURING ALL CLEARING AND CONSTRUCTION ACTIVITIES.

BARRICADES WILL BE HIGH-VISIBILITY ORANGE SAFETY FENCE EXTENDING FROM THE GROUND TO A HEIGHT OF AT LEAST 4 FEET. BARRICADES WILL NOT BE ATTACHED TO VEGETATION.

ALL BARRICADES AND TURBIDITY SCREENS WILL BE UPRIGHT AND MAINTAINED INTACT FOR THE DURATION OF CONSTRUCTION.

WHERE AREAS ARE PROPOSED FOR CLEARING (I.E., BUILDING ENVELOPE, UTILITIES, DRAINAGE, ROAD RIGHT-OF-WAY, ETC.) THE BRIGHT ORANGE BARRICADES WILL BE OFFSET OUTSIDE THE PRESERVE AREA OR PLACED AT THE DRIPLINE OF THE CANOPY THERE, WHICHEVER IS GREATER. EROSION CONTROL DRAINS AND TURBIDITY SCREENS SHALL BE PLACED AT LEAST 5 FEET OUTSIDE THE PERIMETER OF PRESERVE AREAS. ALL NATIVE VEGETATION NOT SLATED FOR REMOVAL AS PART OF THE DEVELOPMENT PLANS WILL BE RETAINED IN THEIR UNDISTURBED STATE AND WILL BE BARRICADED AT OR OUTSIDE THE DRIPLINE OF THE TREES.

CUT OR FILL WILL MEET EXISTING GRADE WITHOUT ENROACHING INTO PRESERVE AREAS.

WETLANDS WILL BE PROTECTED FROM POSSIBLE SURFACE WATER AND SEDIMENT RUNOFF BY THE PLACEMENT OF SILT SCREENS, HAY BALES OR OTHER TURBIDITY CONTROL MEASURES, AS OR BEYOND THE DELINEATION LINE PRIOR TO ANY LAND CLEARING OR CONSTRUCTION AS APPLICABLE. IT IS THE RESPONSIBILITY OF THE OWNER AND CONTRACTOR TO INFORM ALL CONTRACTORS OF THESE BARRICADE REQUIREMENTS.

SWPPP MAINTENANCE

THE SURFACE WATER POLLUTION PREVENTION PLAN (SWPPP) AND F.D.R.P. GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL PROJECTS REQUIRE MONITORING AND MAINTENANCE OF THE EROSION AND SEDIMENT CONTROL DEVICES ALONG WITH THE REQUIRED STABILIZATION PRACTICES. THE CONTRACTOR IS RESPONSIBLE FOR ADHERING TO THE MAINTENANCE REQUIREMENTS. REFER TO ALL COMPONENTS OF THE SWPPP AND THE "FLORIDA STORMWATER EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL" PUBLISHED BY THE F.D.R.P.

THE PLANS, DETAILS AND SPECIFICATIONS SHOWN ON THE EROSION CONTROL PLAN AND IN THE STORM WATER POLLUTION PREVENTION PLAN DOCUMENTS SHALL BE REVIVED AND ALL DEVICES AND MEASURES SHALL BE MAINTAINED AS NEEDED DURING THE EROSION AND SEDIMENTATION CONTROL DEVICES ONLY WHEN THE COMPLETED PHASE OF WORK NO LONGER REQUIRES THESE DEVICES AND MEASURES AND THE SITE HAS BEEN STABILIZED.

ALL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE REVIEWED BY QUALIFIED PERSONNEL AT LEAST ONCE EVERY SEVEN (7) DAYS OR AS DETERMINED BY THE ENGINEER. DURING A RAINFALL EVENT, ALL MAINTENANCE, REPAIRS, CLEANING, ETC. SHALL BE PERFORMED IMMEDIATELY.

CONSTRUCTION ENTRANCES SHALL BE REVIEWED AND MAINTAINED TO PREVENT TRACKING OF ANY MATERIALS ONTO ADJACENT ROADS OR ACCESS ROADS. EROSION CONTROL DEVICES AND THE ADDITION OF NEW DEVICES AND MATERIAL MAY BE REQUIRED.

TEMPORARY PARKING AND STORAGE AREA SHALL BE MAINTAINED IN A SUITABLE CONDITION.

INLET PROTECTION DEVICES SHALL BE REVIEWED AND REPAIRED OR REPLACED AS REQUIRED.

SEEDING AREAS SHALL BE REVIVED TO VERIFY THAT THE STABILIZATION IS FUNCTIONAL AND THAT EROSION IS BEING CONTROLLED AS NEEDED. AREAS SHOULD BE FERTILIZED, WATERED AND RESEEDED AS REQUIRED.

SILT FENCES SHALL BE REVIVED AND REPAIRED AS NEEDED. SEDIMENT AND OTHER MATERIAL SHALL BE REMOVED FROM THE SILT FENCES WHEN IT REACHES ONE-HALF THE HEIGHT OF THE SILT FENCE.

EXCESS SEDIMENTATION OBSERVED SHALL BE REMOVED FROM THE AREAS AND THE REASON FOR THE SEDIMENTATION INVESTIGATED. IF THE SEDIMENTATION IS IN AREAS NOT DESIGNED OR PLANNED FOR SEDIMENTATION COLLECTION, THE CAUSE OF THE SEDIMENTATION SHALL BE RECTIFIED.

MAINTENANCE SHALL BE PERFORMED IN A TIMELY MANNER AND NO LATER THAN 2 CALENDAR DAYS FOLLOWING THE INSPECTION.

EROSION CONTROL NOTES

THE STORM WATER POLLUTION PREVENTION PLAN ("SWPPP") INCLUDES THE EROSION CONTROL PLAN, STANDARD DETAILS, THE PLAN NARRATIVE, ATTACHMENTS INCLUDED IN SPECIFICATIONS OF THE SWPPP, AND THE PERMIT AND PERMIT ATTACHMENTS AS APPENDED TO THE SWPPP.

ALL CONTRACTORS AND SUBCONTRACTORS INVOLVED IN THE PROJECT AND THE STORM WATER POLLUTION PREVENTION SHALL OBTAIN COPY OF THE STORM WATER POLLUTION PREVENTION PLAN AND THE STATE OF FLORIDA NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM GENERAL PERMIT (NPDES PERMIT) AND THE F.D.R.P. PERMIT AS APPENDED TO THE SWPPP.

THE EROSION CONTROL PLAN SHALL IDENTIFY ALL RECEIVING WATERS AND WATERS OF THE STATE PERMITS FOR ANY ACTIVITY IMPACTING STATE WATERS OR WETLANDS MUST BE MAINTAINED ON SITE AT ALL TIMES.

BEST MANAGEMENT PRACTICES (BMP'S) AND CONTROLS SHALL CONFORM TO FEDERAL, STATE, OR LOCAL REQUIREMENTS AS APPLICABLE. THE CONTRACTOR AND SUBCONTRACTORS SHALL IMPLEMENT BEST MANAGEMENT PRACTICES AS REQUIRED BY THE PERMIT AND AS APPENDED TO THE SWPPP. BEST MANAGEMENT PRACTICES MAY BE REQUIRED AS SITE CONDITIONS DICTATE.

THE CONTRACTOR SHALL LIMIT EARTHWORK, CLEARING, ETC. TO THE MAXIMUM EXTENT PRACTICAL.

CONTRACTOR SHALL DENOTE ON THE SWPPP THE TEMPORARY PARKING LOCATION, OFFICE AND CONSTRUCTION TRAILERS, TOILET FACILITIES, FUEL STATION, EQUIPMENT WASHDOWN FACILITIES, REGULATED MATERIAL STORAGE AREA, AND THE LOCATION WHICH SHALL BE USED AS THE EQUIPMENT MAINTENANCE AND CLEANING AREAS.

ALL WASH WATER (CONCRETE TRUCKS, VEHICLE CLEANING, EQUIPMENT CLEANING, ETC.) SHALL BE DETAINED AND PROPERLY TREATED OR DISPOSED OF.

OIL AND GREASE ABSORBING MATERIALS AND FLOTATION BOOMS SHALL BE USED TO CONTAIN AND CLEAN-UP OIL AND GREASE SPILLS AND LEAKS.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL ON SITE. THE USE OF PETROLEUM BASED OR TOXIC LIQUIDS FOR DUST SUPPRESSION OPERATIONS IS PROHIBITED.

TRASH, GARBAGE, LITTER, OR OTHER SUCH MATERIALS SHALL BE DEPOSITED INTO SEALED CONTAINERS. MATERIALS SHALL BE PREVENTED FROM LEAVING THE PROPERTY THROUGH THE USE OF A STORM WATER DISCHARGE INTO DRAINAGE DITCHES OR WATERS OF THE STATE.

ALL STORM WATER POLLUTION PREVENTION MEASURES PRESENTED ON THE PLAN, SHALL BE INITIATED AS SOON AS PRACTICABLE.

STABILIZATION PRACTICES SHOULD BE INITIATED AS SOON AS PRACTICAL, BUT IN NO CASE MORE THAN 7 DAYS WHERE CONSTRUCTION HAS TEMPORARILY CEASED.

DISTURBED PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITY HAS PERMANENTLY STOPPED SHALL BE PERMANENTLY SEEDED. THESE AREAS SHALL BE SEEDED NO LATER THAN 7 DAYS AFTER THE LAST CONSTRUCTION ACTIVITY OCCURRED IN THESE AREAS.

IF THE ACTION OF VEHICLES TRAVELING OVER THE GRAVEL CONSTRUCTION ENTRANCES IS NOT SUFFICIENT TO REMOVE THE MAJORITY OF DIRT OR MUD, THEN THE TIRES MUST BE WASHED BEFORE THE VEHICLES ENTER A PUBLIC ROAD. IF WASHING IS USED, PROVISIONS MUST BE MADE TO INTERCEPT THE WASH WATER AND DIVERT IT TO AN APPROPRIATE DRIPLINE. ALL MATERIAL DROPPED, WASHED OR TRACKED FROM VEHICLES ONTO ROADWAYS, SWALES OR INTO STORM DRAINS MUST BE REMOVED AS SOON AS POSSIBLE.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVING SEDIMENT IN THE LARGE AND MEDIUM PONDS AND ANY SEDIMENT THAT MAY HAVE COLLECTED IN THE STORM SEWER DRAINAGE SYSTEMS IN CONJUNCTION WITH THE STABILIZATION ON THE SITE.

ON-SITE AND OFF-SITE SOIL STOCKPILE AND BORROW AREAS SHALL BE PROTECTED FROM EROSION AND SEDIMENTATION THROUGH IMPLEMENTATION OF BEST MANAGEMENT PRACTICES. BORROW PITS AND BORROW AREA LOCATIONS SHALL BE NOTED ON THE EROSION CONTROL PLAN AND SWPPP AND PERMITTED IN ACCORDANCE WITH GENERAL PERMIT REQUIREMENTS.

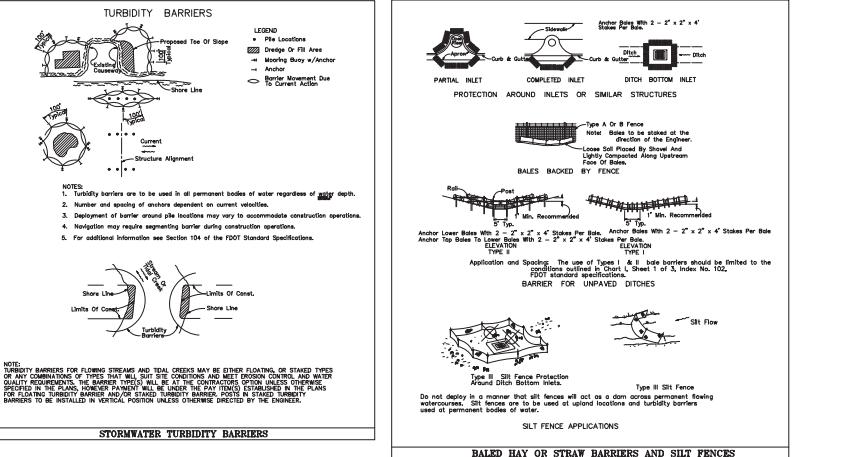
DUUE TO GRADE CHANGES DURING THE DEVELOPMENT OF THE PROJECT, THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADJUSTING THE EROSION CONTROL MEASURES (SILT FENCES, ETC.) TO PREVENT EROSION.

ALL CONSTRUCTION SHALL BE STABILIZED AS NEEDED AT THE END OF EACH WORKING DAY. THIS INCLUDES BACK FILLING OF TRENCHES FOR UTILITY AND UNDERGROUND CONSTRUCTION.

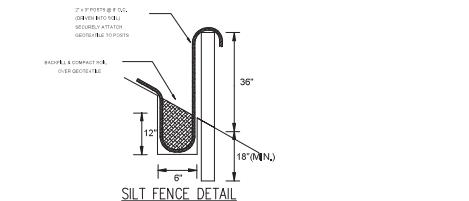
ALL CATCH BASINS SHALL HAVE CLEAN MURFET FILTER FABRIC PLACED ON THEM AND ANY AND ALL CONTRACTORS SHALL TAKE ALL REQUIRED ACTIONS TO PREVENT SOIL EROSION INTO THE DRAINAGE SYSTEM. MANHOLES RECEIVING WATER, ETC.

UPON COMPLETION OF CONSTRUCTION ALL DISTURBED AREAS INCLUDING EXISTING FACILITIES, RIGHTS-OF-WAY, SIDEWALKS, LANDSCAPING, ETC. SHALL BE FULLY RESTORED.

UPON COMPLETION OF ANY AND ALL SLOPES WITHIN THE PROJECT, PROTECTION MEASURES SUCH AS SOD, PLANTINGS, AND/OR TEMPORARY FILTER FABRICS SHALL BE INSTALLED TO PREVENT EROSION.



BALED HAY OR STRAW BARRIERS AND SILT FENCES



NOTE: CONTRACTOR MAY USE ALTERNATE SILT FENCE PER FOOT INDEX #102

No.	Date	Description

EROSION CONTROL DETAILS AND NOTES

WALKER'S PRESERVE MITIGATION AREA
PALM BEACH COUNTY, FLORIDA

PROJECT No.	24-1486
SHEET No.	C-03



This stamp has been digitally signed and verified by Randy Wertepny on the date adjacent to the seal. The seal is a digital representation of the original seal and is not considered signed and verified until it has been digitally signed and verified on an electronic device.

IT'S THE LAW!
CALL TWO (2) BUSINESS DAYS
BEFORE YOU DIG
SUNSHINE 811

Randy Wertepny
P.E. 72504
Aug 14, 2025

Estates at Turnberry Isles

Broward County File #: DF23-1341

SFWMD Application #: 250208-49954

JGGA File: 13-1319

CTA File: 22-0049-001-02

March 19, 2025

Page 1 of 2

a. *Mitigation Commitment:*

The Permittee commits to the restoration and enhancement of the ONI Walker offsite mitigation area according to the plans and documentation provided as part of this environmental permit and to the five years of monitoring and maintenance as provided in the permit plans and documentation. Following the five years of monitoring and maintenance, the Property Owners Association will be responsible for the perpetual maintenance of the ONI Walker offsite mitigation area as specified in the permit.

b. *ONI Walker Offsite Mitigation Time Schedule:*

The ONI Walker Offsite Mitigation area will be constructed according to the following schedule:

- **0-3 Months Following All Agency Permit Issuance (FAAPI):**
 - *Begin site preparation including, root pruning, silt fence installation, exotic vegetation mapping for Baseline Monitoring Report,*
- **3-6 Months FAAPI:**
 - *Hand and Mechanical Exotic vegetation removal, scraping and filling rock pit according to the ONI Walker excavation plan,*
- **6-10 Months FAAPI:**
 - *As built survey of final grading for ONI Walker offsite mitigation area provided to agencies for review and approval,*
- **10-12 Months FAAPI:**
 - *Relocation of root pruned trees, planting of mitigation area and Time Zero Report Submittal*

c. *Monitoring reports should be annually submitted.*

The wetland mitigation area mitigation monitoring reports will be provided to SFWMD on an annual basis. Broward County will receive quarterly mitigation monitoring reports.

b. *80% survival rate should be maintained throughout remainder of monitoring program and at the end of the five-year the mitigation areas shall contain an 80% survival rate etc.*

A minimum of an 80% survival rate for all planted vegetation is guaranteed and an 80% survival rate will be maintained throughout the 5 year monitoring period. Further, the mitigation area will be maintained in perpetuity to have a minimum of 80% survival of planted species and naturally occurring native wetland vegetation that may recruit into the site. Exotic vegetation will be maintained at less than 2%.

c. *Time zero to be submitted within 30 Days of mitigation construction complete date.*

The Time Zero mitigation monitoring report will be provided to SFWMD and Broward County within 30 days of completion of the construction of the mitigation area.

d. *Baseline to be submitted within 30 days of permit issuance.*

The Baseline mitigation area monitoring report will be submitted to SFWMD and Broward County within 30 days of permit issuance.

~22.99 Acre Restored Cypress with Marsh Understory (trees) (M3)								
Taxa	Botanical Name	Spacing	Size	Area (ac)	Total Number			PLANTING ELEV., & TOTALS
					Trees	Herbs	Vines	
cypress	<i>Taxodium distichum</i>	10	7 gallon	5.00	1,460			13.0 - 16.0
cypress	<i>Taxodium distichum</i>	10	10 gallon	5.00	1,460			13.0 - 16.0
slash pine	<i>Pinus elliottii</i>	10	7 gallon	2.00	584			15.0 - 16.5
slash pine	<i>Pinus elliottii</i>	10	10 gallon	2.00	584			15.0 - 16.5
Pond apple	<i>Annona glabra</i>	10	7 gallon	1.50	438			13.0 - 15.0
Total Trees				15.50	4,526			4,526
~22.99 Acre Cypress with Marsh Understory (Shrubs and Herbs) (M-3)								
coco plum	<i>Chrysobalanus icaco</i>	5	3 gallon	4.00				8,048 14.0- 16.5
button bush	<i>Cephaelanthus occidentalis</i>	5	3 gallon	4.00				8,048 14.0- 16.0
cord grass	<i>Spartina bakerii</i>	5	1 gallon	3.00		6,036		14.0 - 16.0
leather fern	<i>Acrostichum danaeifolium</i>	5	1 gallon	1.50		3,018		14.0 - 16.0
firebush	<i>Hamelia patens</i>	5	3 gallon	0.90			1,811	14.0 - 16.0
Total Shrubs/Herbs				13.40	9,054	0	9,859	18,913
~30.4 Acres Mixed Freshwater Marsh (M1, M2, and M-4)								
leather fern	<i>Acrostichum danaeifolium</i>	3	1 gallon	1.50		8,378		14.0 - 16.0
swamp fern	<i>Blechnum serrulatum</i>	3	1 gallon	0.80		4,468		14.0 - 16.0
cord grass	<i>Spartina bakerii</i>	3	1 gallon	2.00			4,024	14.0 - 16.0
duck potato	<i>Sagittaria latifolia</i>	3	bare root	5.00		27,925		13.0 - 15.5
pickerel weed	<i>Pontederia cordata</i>	3	bare root	6.00		33,510		13.0 - 15.5
gator flag	<i>Thalia geniculata</i>	3	bare root	3.00		16,755		13.0 - 15.5
spike rush	<i>Eleocharis cellulosa</i>	3	bare root	5.00		27,925		13.0 - 15.5
giant bulrush	<i>Schoenoplectus californicus</i>	3	bare root	1.00		5,585		13.0 - 15.5
spider lily	<i>Hymenocallis latifolia</i>	3	1 gallon	0.50		2,792		14.0 - 16.0
Water lily	<i>Nymphaea odorata</i>	5	bare root	1.00		101		12.0 - 15.0
blue flag iris	<i>Iris savannarum</i>	3	1 gallon	0.70		3,910		14.0 - 16.0
Total Plants - FW Wetland				26.50	0	131,347	0	4,024
NOTE: Total acreage for each community type should be taken from the environmental and engineering drawings and the community type planting headers shown on this Table. Plants may migrate to elevations other than those shown for initial planting elevations and locations. Plant substitutions will be made only if specific plants are not available at time of installation.								
Installed plant density will be as follows: 15' OC = 224 plants / acre; 10' OC = 292 plants/acre; 5' OC= 2,012 plants/acre; 3' OC=5,585 plants/acre; 2' OC=12,590 plants/acre. If used, a Florida Native Wildflower seed mix will include the following species: <i>Chamaecrista fasciculata</i>, <i>Coreopsis lanceolata</i>, <i>C. leavenworthii</i>, <i>Gaillardia pulchella</i>, <i>Solidago stricta</i>, <i>Andropogon virginicus</i>, <i>Eragrostis elliottii</i>, <i>Eragrostis spectabilis</i>, <i>Hibiscus grandiflorus</i>, <i>Chamaecrista fasciculata</i>, <i>Polygonella polygama</i>, <i>Sorghastrum secundum</i>, <i>Solidago fistulosa</i>, <i>Verbesina virginica</i>, <i>Gaillardia pulchella</i>, <i>Liatris gracilis</i>, <i>Schizachyrium scoparium</i>.								

All Mitigation at ONI Palm Beach County

Mitigation Summary Turnberry-Davie

12/2/2025

UMAM BROWARD COUNTY SUMMARY

		EXISTING CONDITION				PROPOSED CONDITION				Delta	Time Lag	RISK	Functional Units	ACRES	Mitigation Type
		Loc	Hydro	Comm	Sum	Loc	Hydro	Comm	Sum						
Wetland Losses	Depressional Wetlands	2	4	5	0.367	0	0	0	0	-0.367	1	1	-4.42	12.05	Impact
	Pasture Wetlands	2	2	1	0.167	0	0	0	0	-0.17	1	1	-18.30	109.8	Impact
	TOTALS												-22.72	121.85	
Wetland Gains	M-1: ONI PROMA Creation Marsh	0	0	0	0	8	8	8	0.8	0.80	1.1	1.25	11.60	19.93	FW Marsh with small number of isolated hydric islands, upland buffers on north, south & east.
	M-2: ONI Restoration to Marsh	0	0	0	0.00	8	8	8	0.80	0.80	1.10	1.25	2.29	3.93	FW Marsh Restoration (currently not jurisdictional)
	M-3: Existing Cypress Enhancement	5	2	2	0.30	8	8	8	0.80	0.50	1.14	1.50	6.72	22.99	Cypress Enhancement
	M-4: Shallow Lake to Marsh	0	0	0	0.00	8	8	8	0.80	0.80	1.10	1.50	3.17	6.53	FW Marsh Enhancement
	TOTAL MITIGATION												23.77	53.38	1.05

Assumptions:

Approximately 56% of the wetland impacts will occur following issuance of the Time Zero Report for the ONI Walker and Onsite Mitigation Areas. Also, existing mature cypress trees will remain in island clusters following exotic removal providing immediate vertical and horizontal diversity and mature cypress habitat with no time lag. Therefore the Time Lag and Risk have been adjusted to reflect this condition.

All mitigation work at ONI is completed prior to the completion of wetland impacts at Turnberry

Mitigation credit is provided within the existing cypress preserve areas due to exotic removal, selective grading and replanting and the very poor condition of these areas.

Final wetland mitigation UMAM scores are 0.8 for LOC, HYDROLOGY and COMMUNITY. Location scores are proposed to be 0.8 because the adjacent properties are agricultural or low density residential. See attached ERP map. The recently permitted residential site is east of the mitigation site and does not directly adjoin the mitigation areas. except in the extreme northeast corner where the LWDD easement is located. In addition, the residential development is planting a heavily vegetated buffer between ONI and the residences.

EXHIBIT A
LEGAL DESCRIPTION

Tract A, WAL.KER PRESERVE PARCEL, according to the Plat thereof recorded in Plat Book 104, Page 129, of the Public Records of Palm Beach County, Florida.

TOGETHER WITH Temporary Construction and Access Easement by GLF-Boynton Beach, LLC, a Delaware limited liability company formerly known as ONI-Boynton Beach, LLC, a Delaware limited liability company (Grantor) to and in favor of CC Homes At The Estate By Turnberry, LLC, a Florida limited liability company, recorded in Official Records BookJfhYJ; Page /f.iJ_, of the Public Records of Palm Beach County, Florida, described as follows:

A portion of Tract "B", 'WALKER PRESERVE PARCEL", according to the Plat thereof, as recorded in Plat Book 104, Page 129, of the Public Records of Palm Beach County, Florida, being more particularly described as follows:

COMMENCING at the Northeast corner of said "Tract B"; thence along the East line of said Tract "B" the following three (3) described courses and distances; (1) South 00°39'05" East 121.95 feet to the POINT OF BEGINNING; (2) South 00°39'05" East 38.07 feet; (3) South 00°54'52" East 46.18 feet; thence South 89°07'37" West 16.72 feet to a point of curvature of a circular curve concave Northeasterly; thence Southwesterly, Westerly and Northwesterly along the arc of said curve to the right, having a radius of 150.00 feet, a central angle of 42°13'37", for an arc distance of 110.55 feet to a point of tangency; thence North 48°38'46" West 125.58 feet to a point of curvature of a circular curve concave Southwesterly; thence Northwesterly, Westerly and Southwesterly along the arc of said curve to the left, having a radius of 150.00 feet, a central angle of 43°18'56", for an arc distance of 113.40 feet to a point of tangency; thence South 88°02'18" West 1342.31 feet; thence North 87°59'35" West 212.96 feet; thence South 88°03'42" West 197.98 feet; thence South 80°31 '53" West 139.08 feet; thence South 67°39'01" West 49.77 feet to a point of curvature of a circular curve concave Northwesterly; thence Southwesterly along the arc of said curve to the right, having a radius of 150.00 feet a central angle of 18°02'45", for an arc distance of 47.24 feet to a point of tangency; thence South 85°41 '46" West 36.57 feet to a point of intersection with the West line of said Tract "B"; thence North 01°03'36" West along said West line 24.04 feet; thence North 85°41 '46" East 35.21 feet to a point of curvature of a circular curve concave Northwesterly; thence Northeasterly along the arc of said curve to the left, having a radius of 126.00 feet, a central angle of 18°02'45", for an arc distance of 39.68 feet to a point of tangency; thence North 67°39'01" East 52.48 feet; thence North 80°31 '53" East 143.37 feet to a point of intersection with the North line of said Tract "B"; thence North 88°03'42" East along said North line 200.39 feet; thence South 87°59'35" East 212.96 feet; thence North 88°02'18" East 1394.05 feet to a point of curvature of a circular curve concave Southwesterly; thence Northeasterly, Easterly and Southeasterly along the arc of said curve to the right, having a radius of 125.00 feet, a central angle of 39°04'07", for an arc distance of 85.23 feet to a point of tangency; thence South 52°53'35" East 72. 74 feet to a point of curvature of a circular curve concave Northeasterly; thence Southeasterly, Easterly and Northeasterly along the arc of said curve to the left, having a radius of 150.00 feet, a central angle of 37°58'48", for an arc distance of 99.43 feet to a point of tangency; thence North 89°07'37" East 33.25 feet to the POINT OF BEGINNING.

Said lands lying and being in Palm Beach County, Florida.

Policy No.: OYFL-08440156

ALTA Owner's Policy of Title Insurance (7-1-21) w-FL Mod

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Broward County

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12/10/2025



SKETCH AND LEGAL DESCRIPTION

BY

PULICE LAND SURVEYORS, INC.

5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351



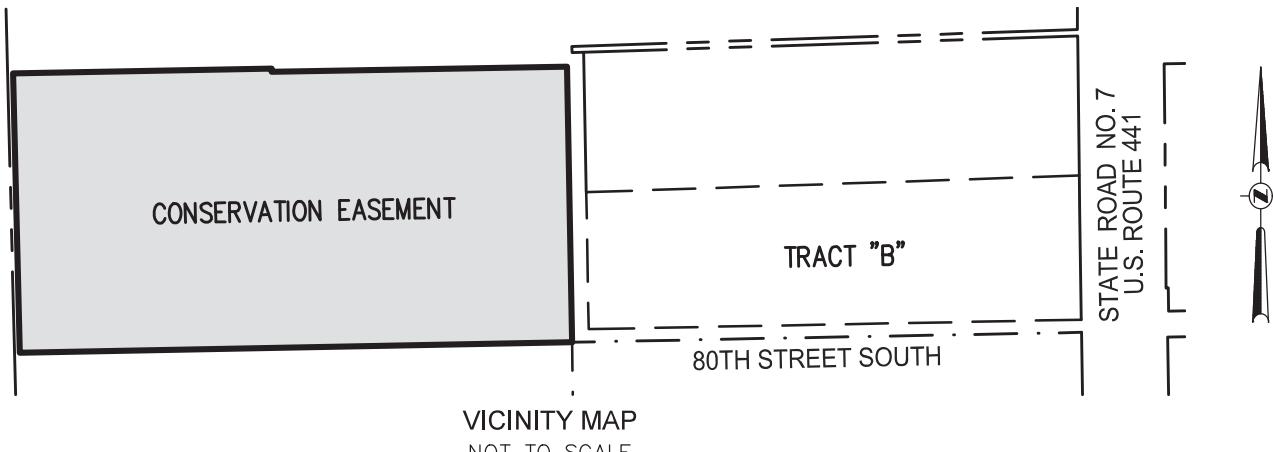
TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870

LEGAL DESCRIPTION:

A PORTION OF TRACT "A", "**WALKER PRESERVE PARCEL**", ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 104, PAGE 129, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHWEST CORNER OF SAID TRACT "A", ALSO BEING THE SOUTHWEST CORNER OF SECTION 12, TOWNSHIP 45 SOUTH, RANGE 41 EAST, THENCE NORTH 88°54'12" EAST ALONG THE SOUTH LINE OF SAID TRACT "A" 25.00 FEET TO THE **POINT OF BEGINNING**; THENCE NORTH 01°23'59" WEST ALONG A LINE 25.00 FEET EAST OF AND PARALLEL WITH THE WEST LINE OF SAID TRACT "A" 1322.46 FEET TO A POINT ON A LINE 25.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID TRACT "A"; THENCE NORTH 88°58'39" EAST ALONG SAID PARALLEL LINE 1223.74 FEET; THENCE SOUTH 01°01'21" EAST 15.00 FEET TO A LINE 40.00 FEET SOUTH OF AND PARALLEL WITH THE NORTH LINE OF SAID TRACT "A"; THENCE NORTH 88°58'39" EAST ALONG SAID PARALLEL LINE 1398.03 FEET TO A POINT ON THE EAST LINE OF SAID TRACT "A"; THENCE SOUTH 01°03'36" EAST ALONG SAID EAST LINE 1304.04 FEET TO A POINT ON THE SOUTH LINE OF SAID TRACT "A"; THENCE SOUTH 88°54'12" WEST ALONG SAID SOUTH LINE 2613.92 FEET TO THE **POINT OF BEGINNING**.

SAID LANDS LYING AND BEING IN PALM BEACH COUNTY, FLORIDA, AND CONTAINING 3,436,496 SQUARE FEET (78.8911 ACRES), MORE OR LESS.



NOTES:

1. THIS SKETCH IS NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OR AN ELECTRONIC SIGNATURE AND ELECTRONIC SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.
2. BEARINGS ARE BASED ON STATE PLANE COORDINATES AND ARE RELATIVE TO THE NORTH AMERICAN DATUM OF 1983 WITH THE 2011 ADJUSTMENT, FL-E ZONE, WITH THE SOUTH LINE OF TRACT "A" BEING S88°54'12"W
3. THIS IS NOT A SKETCH OF SURVEY AND DOES NOT REPRESENT A FIELD SURVEY.
4. ALL RECORDED DOCUMENTS ARE PER PALM BEACH COUNTY PUBLIC RECORDS.

CLIENT: CC HOMES

SCALE: N/A

DRAWN: L.H.

ORDER NO.: 74315

DATE: 5/21/25

CONSERVATION EASEMENT

80TH STREET SOUTH, LAKE WORTH BEACH

UNINCORPORATED PALM BEACH COUNTY, FLORIDA

Broward County

SHEET 1 OF 2

THIS DOCUMENT IS NEITHER FULL NOR COMPLETE WITHOUT SHEETS 1 AND 2

JOHN F. PULICE, PROFESSIONAL SURVEYOR AND MAPPER LS2691
 VICTOR R. GILBERT, PROFESSIONAL SURVEYOR AND MAPPER LS6274
 MICHAEL M. MOSSEY, PROFESSIONAL SURVEYOR AND MAPPER PSM5660
STATE OF FLORIDA



SKETCH AND LEGAL DESCRIPTION

BY

PULICE LAND SURVEYORS, INC.5381 NOB HILL ROAD
SUNRISE, FLORIDA 33351TELEPHONE: (954) 572-1777 • E-MAIL: surveys@pulicelandsurveyors.com
CERTIFICATE OF AUTHORIZATION LB#3870A PORTION
SECTION 12-45-41

N88°58'39"E 1223.74'

NORTH LINE SOUTH 1/2
SECTION 12-45-41S01°01'21"E
15.00'N88°58'39"E
1398.03'NORTH LINE
TRACT "A"UNPLATTED ACREAGE
A PORTION OF SECTION 11-45-41FPL EASEMENT RIGHT-OF-WAY
WEST LINE
SECTION 12-45-41
N01°23'59"W
1322.46'TRACT "A"
"WALKER PRESERVE PARCEL"
PLAT BOOK 104, PAGE 129AGRICULTURAL EASEMENT PROPERTY
SUBJECT TO EXISTING AGRICULTURAL AGREEMENT
O.R.B. 16233, PAGE 520

CONSERVATION EASEMENT

POINT OF COMMENCEMENT

SW CORNER TRACT "A"
SW CORNER OF SECTION 12-45-41

POINT OF BEGINNING

N88°54'12"E 25.00'

NW CORNER
OF SECTION 13-45-41

S88°54'12"W 2613.92'

SOUTH LINE
TRACT "A"80TH
STREET S

S01°03'36"E 1304.04'

EAST LINE
TRACT "A"
L.W.D.D. S-8 CANAL
55' RIGHT-OF-WAY
O.R.B. PAGE 1096L.W.D.D. S-8 CANAL
55' RIGHT-OF-WAY
O.R.B. 36658, PAGE 350UNPLATTED ACREAGE
A PORTION OF SECTION 11-45-41

CLIENT: CC HOMES

SCALE: 1"=400'

DRAWN: L.H.

ORDER NO.: 74315

DATE: 5/21/25

CONSERVATION EASEMENT

80TH STREET SOUTH, LAKE WORTH BEACH

UNINCORPORATED PALM BEACH COUNTY, FLORIDA

Broward County

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12/10/2025

SHEET 2 OF 2

THIS DOCUMENT IS NEITHER FULL NOR
COMPLETE WITHOUT SHEETS 1 AND 2

LEGEND & ABBREVIATIONS:

O.R.B.
FPLOFFICIAL RECORDS BOOK
FLORIDA POWER & LIGHT COMPANY

5/13/2025

Mitigation Action	Unit	Quantity	Cost / Unit	Estimated Cost
Earthwork	CY	136,888	\$9.00	\$1,231,992.00
Planting (per Planting Plan)	AC	53	\$10,356.00	\$548,868.00
Maintenance	EA	20	\$8,000.00	\$160,000.00
Monitoring	EA	5	\$12,000.00	\$60,000.00
10% Contingency	EA	1	10% of Total	\$200,086.00
Sub-Total				\$2,000,860.00
Total with Contingency				\$2,200,946.00



Broward County

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12/10/2025